

Gedling Local Development Plan

Publication Draft

Appendices

May 2026

Serving people, Improving lives

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Appendix A: Glossary

Glossary of Terms

Active Travel Measures – infrastructure projects designed to encourage walking, wheeling and cycling for regular journeys.

Adoption: The formal approval by a Council of the final version of a Development Plan Document once the Inspector has found it sound.

Affordable Housing: The National Planning Policy Framework (NPPF, 2024) definition of 'affordable' housing is:

Housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and / or is for essential local workers); and which complies with one or more of the following definitions:

- a) **Social Rent:** meets all of the following conditions: (a) the rent is set in accordance with the government's rent policy for Social Rent; (b) the landlord is a registered provider; and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision.
- b) **Other affordable housing for rent:** meets all of the following conditions: (a) the rent is set in accordance with the government's rent policy for Affordable Rent, or is at least 20% below local market rents (including service charges where applicable); (b) the landlord is a registered provider, except where it is included as part of a Build to Rent scheme (in which case the landlord need not be a registered provider); and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision. For Build to Rent schemes affordable housing for rent is expected to be the normal form of affordable housing provision (and, in this context, is known as Affordable Private Rent).
- c) **Discounted market sales housing:** is that sold at a discount of at least 20% below local market value. Eligibility is determined with regard to local incomes and local house prices. Provisions should be in place to ensure housing remains at a discount for future eligible households.
- d) **Other affordable routes to home ownership:** is housing provided for sale that provides a route to ownership for those who could not achieve home ownership through the market. It includes shared ownership, relevant equity loans, other low cost homes for sale (at a price equivalent to at least 20% below local market value) and rent to buy (which includes a period of intermediate rent). Where public grant funding is provided, there should be provisions for the homes to remain at an affordable price for future eligible households, or for any receipts to be recycled for alternative affordable housing provision or refunded to Government or the relevant authority specified in the funding agreement.

Authority Monitoring Report (AMR): A report produced by local planning authorities assessing progress with and the effectiveness of the Local Plan.

Appropriate Assessment: A stage in a Habitats Regulations Assessment (see definition below) required when screening cannot rule out the possibility of a significant effect on a European nature conservation site. The Appropriate Assessment will determine whether there is a significant effect and, if there is, its nature and whether it can be mitigated.

Article 4 Direction: A legal document (prepared in accordance with The Town and Country Planning (General Permitted Development) (England) Order 2015) which withdraws automatic planning permission granted by the Order. Article 4 directions are usually used when the character of an area of acknowledged importance could be threatened without this additional control. They are most common in Conservation Areas but are also used in areas where there is a concentration of Houses in Multiple Occupation (HMOs).

Biodiversity: The range of life forms which constitute the living world, from microscopic organisms to the largest tree or animal, and the habitat and ecosystem in which they live.

Biodiversity Action Plan: An internationally recognised programme addressing threatened species and habitats, designed to protect and restore biological systems.

Blue-Green Infrastructure (BGI): The Greater Nottingham Blue-Green Infrastructure Strategy defines BGI as:

A network of living multifunctional natural and semi natural features, green and brownfield spaces, rivers, canals and lakes that link and connect villages, towns and cities. It provides a holistic and sustainable approach to viewing the natural environment and landscape and provides multiple ecosystem services and benefits for people, wildlife and local communities.

Brownfield Land: See 'Previously Developed Land',

Building for a Healthy Life (BHL): A 'design toolkit' written by 'Design for Homes' in partnership with NHS England and endorsed by Homes England.

Carbon Neutral: A Zero Carbon Building is a highly energy-efficient building that produces on-site, or procures, carbon-free renewable energy or high-quality carbon offsets in an amount sufficient to offset the annual carbon emissions associated with building materials and operations.

City Centre: This is the highest level of centre identified in development plans. In terms of hierarchies, it will often be a regional centre and will serve a wide catchment. The centre may be very large, embracing a wide range of activities and may be distinguished by areas which may perform different main functions. For Greater Nottingham this equates to Nottingham City Centre.

Community Facilities: For the purposes of GLDP Policy 57, community facilities include schools, nurseries, post offices, local shops in rural areas,

public houses, places of worship or religious instruction, church halls, health centres, GP practices, pharmacies, dentists, community centres or halls, libraries, leisure centres and emergency services.

Community Infrastructure Levy (CIL): A standard charge levied by Councils on developers towards the cost of local and strategic infrastructure to support development (including transport, social and environmental infrastructure, schools and parks). The Gedling Borough Council Community Infrastructure Levy (CIL) Charging Schedule, including the associated instalment policy, came into effect on 16th October 2015.

Conservation (for heritage policy): The National Planning Policy Framework (NPPF, 2024) definition of 'conservation' in this context is:

The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.

Conservation Area: An area designated by a Local Planning Authority under Section 69 of the Planning (Listed Buildings and Conservation Areas) Act, 1990, regarded as being an area of special architectural or historic interest, the character or appearance of which is desirable to preserve or enhance.

Convenience Goods: Items obtained on a frequent basis, including food, drinks, magazines and confectionery.

Core Strategy: The name used for the previous version of the Greater Nottingham Strategic Plan, the Gedling Borough Aligned Core Strategy 2014.

Demand Management: Encouraging people to travel less and use sustainable means of travel where possible when they do need to make journeys, sometimes known as 'Smarter Choices'. Uses techniques for influencing people's travel behaviour towards more sustainable options such as school, workplace and individualised or personal travel planning. Also aims to improve public transport and marketing services such as travel awareness campaigns, setting up websites for car share schemes, supporting car clubs and encouraging teleworking.

Density: The intensity of development in a given area. Usually measured as net dwelling density, calculated by including only those site areas which will be developed for housing and directly associated uses, such as private gardens, car parking, access roads within the site and open space required by policy (such as children's play areas) will be included; sustainable drainage schemes which form part of the open space requirement will also be included.

Department for Levelling Up, Housing and Communities (DLUHC): The Government department responsible for planning and local government. From 5th July 2024 this organisation changed its name to Ministry of Housing, Communities and Local Government (MHCLG).

Derby Derbyshire Nottingham Nottinghamshire Local Enterprise Partnership (D2N2 LEP): The Local Enterprise Partnership that covered Greater Nottingham as well as the other administrative areas of Derby, Derbyshire and Nottinghamshire. Now incorporated into the East Midlands Combined County Authority.

Designated Heritage Asset: A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated as such under the relevant legislation.

Development Plan: An 'umbrella' term which includes all the relevant Local Plans and Neighbourhood Plans for an area. By law (the Planning and Compulsory Purchase Act 2004), applications for planning permission must be determined in accordance with the 'development plan', unless material considerations indicate otherwise.

Development Plan Document (DPD): A spatial planning document which is subject to extensive consultation and independent examination. (In law (The Town and Country Planning (Local Planning) (England) Regulations 2012), 'development plan documents' and 'local plans' have the same meaning.)

East Midland Combined County Authority (EMCCA): A new legal entity which includes Derbyshire County Council, Nottinghamshire County Council, Derby City Council and Nottingham City Council, and which covers the areas of both cities and both counties. The EMCCA will exercise various functions of the constituent councils in relation to transport, skills, housing and net zero. Of most relevance to the Strategic Plan, the EMCCA will exercise functions of the constituent councils as Local Transport Authorities in relation to how transport is planned, delivered and operated across the combined area. The EMCCA will lead the development of an area wide Local Transport Plan to shape future local transport investment, co-ordinate a joint approach to highways asset management and define a key route network, and following a transition period, consolidate the public transport powers of the City and County Councils for supported bus services, smart ticketing and passenger information. The constituent councils will continue to be the Local Highway Authorities and will also retain responsibility for delivery of local improvements.

Economic Development: Development including that within Use Classes B2, B8 and E(g), public and community uses, and main town centre uses (but excluding housing development).

Edge of Centre: The National Planning Policy Framework (NPPF, 2024) definition of 'edge of centre' is:

For retail purposes, a location that is well connected to, and up to 300 metres from, the primary shopping area. For all other main town centre uses, a location within 300 metres of a town centre boundary. For office development, this includes locations outside the town centre but within 500 metres of a public transport interchange. In determining whether a

site falls within the definition of edge of centre, account should be taken of local circumstances.

Equality Impact Assessment (EqIA): A management tool that makes sure that policies and working practices do not discriminate against certain groups and that opportunities are taken to promote equality.

Evidence Base: The information and data that have informed the development of policies in the Local Plan. To be sound a document needs to be founded on a robust and credible evidence base.

Exception Test: Is applied only where the Sequential Test (see definition below) has concluded that it is not possible, or consistent with wider sustainability objectives, for the development to be located in flood risk zones with a lower probability of flooding. It can be applied if appropriate to show that development provides wider sustainability benefits and development will be safe (more explanation of the Exception Test is set out in national planning practice guidance).

Flood Plains: Generally low lying areas adjacent to a watercourse, where water flows in times of flood or would flow but for the presence of flood defences.

Grain: The grain relates to how the place is subdivided, the pattern of streets, building blocks, cycle routes, paths and how people move between places within the development. Some locations especially focus points such as local centres require a fine grain for more complex movement.

Greater Nottingham: Is made up of the administrative areas of Broxtowe, Erewash, Gedling, Nottingham City and Rushcliffe Councils and the Hucknall part of Ashfield Council. When used in the Gedling Borough Local Development Plan it refers to the whole of Greater Nottingham, unless otherwise explained.

Green Belt: An area of land around a city having five distinct purposes (as set out in the National Planning Policy Framework 2024 paragraph 143):

- a) to check the unrestricted sprawl of large built-up areas;
- b) to prevent neighbouring towns merging into one another;
- c) to assist in safeguarding the countryside from encroachment;
- d) to preserve the setting and special character of historic towns; and
- e) to assist in urban regeneration by encouraging the recycling of derelict and other urban land.

Green Infrastructure: See Blue-Green Infrastructure. For the purposes of this Plan, Green Infrastructure is treated as part of Blue-Green Infrastructure.

Grey belt. The National Planning Policy Framework (NPPF, 2024) definition of 'grey belt' is:

For the purposes of plan-making and decision-making, 'grey belt' is defined as land in the Green Belt comprising previously developed land and/or any other land that, in either case, does not strongly contribute to any of purposes (a), (b), or (d) in paragraph 143. 'Grey belt' excludes land where the application of the policies relating to the areas or assets in footnote 7 (other than Green Belt) would provide a strong reason for refusing or restricting development.

Gypsies and Travellers: The Government's 'Planning policy for traveller sites' (PPTS, 2023) definition of 'gypsies and travellers' is:

Persons of nomadic habit of life whatever their race or origin, including such persons who on grounds only of their own family's or dependants' educational or health needs or old age have ceased to travel temporarily or permanently, but excluding members of an organised group of travelling showpeople or circus people travelling together as such.

Habitats Regulations Assessment (HRA): Required under the European Directive 92/43/ EEC on the 'conservation of natural habitats and wild fauna and flora' for plans or policies that may have an impact on a European nature conservation site, such as a Special Protection Area (see definition below). It has the purpose of considering the impacts of a land-use plan against the conservation objectives of the site and ascertaining whether it would adversely affect the integrity of the site, including, if necessary, by an Appropriate Assessment (see definition above). Where significant negative effects are identified, alternative options should be examined to avoid any potential damaging effects.

Hectare (ha): An area 10,000 square metres or 2.471 acres.

Heritage Asset: The National Planning Policy Framework (NPPF, 2024) definition of 'heritage asset' is:

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).

Historic Environment: The National Planning Policy Framework (NPPF, 2024) definition of 'historic environment' is:

All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.

Homes England: The national housing and regeneration delivery agency for England, enabling local authorities and communities to meet the ambition they have for their areas.

Houses in Multiple Occupation (HMOs): Use Class C4 and larger 'sui generis' residential units with 7 or more occupiers sharing basic amenities.

Housing Market Area (HMA): Geographical area defined by household demand and preferences for housing. It reflects the key functional linkages between places where people live and work. The Nottingham Core Housing Market Area consists of Broxtowe, Erewash, Gedling, Nottingham City and Rushcliffe. (Hucknall is part of Greater Nottingham but is in Ashfield, which is within the Nottingham Outer Housing Market Area.)

Housing Target: The amount of housing proposed to be delivered in Gedling Borough by 2043. For Gedling Borough, this is the same as the Housing Need as calculated by the Government's standard method.

Housing Strategy: A Housing Strategy is produced by every council and sets out the key housing priorities that the council feels need to be addressed in order to meet the housing needs and aspirations of the local population.

Infrastructure Delivery Plan (IDP): Sets out the range of infrastructure required to support the Local Plan. The infrastructure projects set out are critical to the successful delivery of the Plan, and the IDP includes details of when they are needed and how they will be funded and delivered.

Issues and Options: An informal early stage of plan preparation, aimed at engaging the public and stakeholders in formulating the main issues that the plan should address, and the options available to deal with those issues.

Joint Planning Advisory Board (JPAB): Board made up of planning and transport lead councillors from all the Greater Nottingham local authorities. It was originally established to oversee the preparation of the Aligned Core Strategies and continues to oversee the preparation and coordination of strategic planning policies.

Key Diagram: Diagrammatic representation of the spatial strategy as set out in the Local Plan, showing areas of development opportunity and restraint, and key pressures and linkages in the surrounding area.

Key Settlements: The fourth item in the settlement hierarchy to accommodate growth, identified in policy 2.

Legal Compliance: As part of the process of preparing a Local Plan, the document is examined by the Planning Inspectorate to make sure that it is legally compliant and sound. A plan is considered legally compliant when it complies with the various regulations that govern how it should be prepared. Key issues the Inspector will look at include:

- whether it is in the Local Development Scheme;
- whether community consultation was carried out in accordance with the statement of Community Involvement;
- whether the requirements of the relevant regulations have been followed;
- whether the appropriate notifications have been made;

- whether a Sustainability Appraisal assessing social, environmental and economic factors has been done and made public; and
- whether the requirements of the Duty to Cooperate have been met.

Listed Building: A building of special architectural or historic interest. Listed buildings are graded I, II* or II, with grade I being the highest. Listing includes the interior as well as the exterior of the building, and any buildings or permanent structures (e.g. wells) within its curtilage. Historic England is responsible for designating buildings for listing in England.

Local Centres: These include a range of small shops of a local nature, serving a small catchment. Typically, local centres might include, amongst other shops, a small supermarket, a newsagent, a sub-post office and a pharmacy. In rural areas, large villages may perform the role of a local centre.

Local Cycling and Walking Infrastructure Plan (LCWIP): strategic approach to identifying cycling and walking improvements required at the local level, enabling a long-term approach to developing local cycling and walking networks, ideally over a 10 year period. Nottinghamshire County Council has been working in partnership with Derby City Council, Derbyshire County Council and Nottingham City Council to develop a D2N2 Local Cycling and Walking Infrastructure Plan.

Local Development Document (LDD): A legal term covering a variety of documents prepared by local planning authorities, including Local Plans and Supplementary Planning Documents (and, in future, Supplementary Plans). LDDs collectively deliver the spatial planning strategy for the local planning authority's area.

Local Development Scheme (LDS): A document setting out the timescales for the production of the Development Plan Documents.

Local Enterprise Partnership (LEP): A former body, designated by the Secretary of State for Communities and Local Government, established for the purpose of creating or improving the conditions for economic growth in an area. The D2N2 LEP covered Derby City, Derbyshire County, Nottingham City and Nottinghamshire County. It has now been incorporated into the East Midlands Combined County Authority (EMCCA).

Local Nature Reserve (LNR): Habitat of local significance designated by a local authority where protection and public understanding of nature conservation is encouraged. Established under the powers of the National Parks and Access to the Countryside Act 1949.

Local Plan: A plan for the future development of the local area, drawn up by the local planning authority in consultation with the community and subject to independent examination. (In law, also known as a 'development plan document'.)

Local Transport Plans (LTPs): Set out proposals for the development of local, integrated transport, supported by a programme of transport improvements and are used to bid for Government funding towards transport improvements. They are prepared by upper tier authorities. For Greater Nottingham there are two Local Transport Plans; one prepared by Derbyshire County Council covering Erewash and a second prepared by Nottingham City and Nottinghamshire County Councils jointly covering the rest of Greater Nottingham. The new legal entity, EMCCA, will exercise various functions of the constituent councils in relation to transport including the development of an area wide Local Transport Plan.

Local Wildlife Sites: (Formerly known as Sites of Importance for Nature Conservation (SINCs)). A non-statutory designation used to identify high quality wildlife sites in the Plan area. They include semi-natural habitats such as ancient woodland and flower-rich grassland.

Main Town Centre Uses: The National Planning Policy Framework (NPPF, 2024) definition of 'main town centre uses' is:

Retail development (including warehouse clubs and factory outlet centres); leisure, entertainment and more intensive sport and recreation uses (including cinemas, restaurants, drive-through restaurants, bars and pubs, nightclubs, casinos, health and fitness centres, indoor bowling centres and bingo halls); offices; and arts, culture and tourism development (including theatres, museums, galleries and concert halls, hotels and conference facilities).

Main Built Up Area of Nottingham (MBUA): Includes West Bridgford, Clifton, Beeston, Stapleford, Long Eaton (Erewash), Bulwell, Arnold and Carlton. (Previously known as the Principal Urban Area (PUA)).

Massing, scale and proportion: The arrangement, volume and shape of a building or group of buildings in relation to other buildings and spaces.

Materials, architectural style and detailing: Materials, architectural style and detailing promote character by incorporating high quality and context appropriate materials and architectural detailing and have variation in building heights to break up the overall mass.

Minerals Local Plan: Prepared jointly by the County and City Councils acting as the authorities responsible for minerals-related issues with the County.

Ministry of Housing, Communities and Local Government (MHCLG): previously called the Department for Levelling Up, Housing and Communities. This Government Department is responsible for housing, local government and planning.

Microprocessor Optimised Vehicle Actuation (MOVA): is an advanced, adaptive traffic signal control system which is designed to maximise junction capacity primarily by constantly adjusting the timing of traffic lights to optimise green light times based on actual traffic flow

National Planning Policy Framework (NPPF): The NPPF replaced other national planning policy documents (PPG/PPS) and many circulars, streamlining them all into one document. It sets out the Government's planning policies for England and how these are expected to be applied. It provides a framework within which Local Plans and Neighbourhood Plans can be produced reflecting the needs and priorities of the local area.

Neighbourhood Plan: A plan prepared by a Parish Council or Neighbourhood Forum for a particular neighbourhood area (made under the 1990 Town & Country Planning Act, as amended by the 2011 Localism Act and the Planning and Compulsory Purchase Act 2004).

Nottingham Express Transit (NET): The light rail (tram) system for Greater Nottingham.

Out of centre: The National Planning Policy framework (NPPF, 2024) definition of 'out of centre' is:

A location which is not in or on the edge of a centre but not necessarily outside the urban area.

Permeability and legibility: This relates to a simple, well-defined and interconnected network of streets and spaces that allows for convenient access to a choice of movement modes and routes, as appropriate to the size of the development and grain of the surroundings.

Pitch and Plot (Gypsy and Traveller): The Government's 'Planning policy for traveller sites' (PPTS, 2023) definitions of 'pitch' and 'plot' are:

'Pitch' means a pitch on a 'gypsy and traveller' site and 'plot' means a pitch on a 'travelling showpeople' site (often called a 'yard'). This terminology differentiates between residential pitches for 'gypsies and travellers' and mixed-use plots for 'travelling showpeople', which may / will need to incorporate space or to be split to allow for the storage of equipment.

Plan area: The area covered by the Local Plan, being the administrative area of Gedling Borough.

Planning Inspectorate (PINS): Government agency which examines Local Plans (and other Development Plan Documents) to ensure they are sound. Also decides planning appeals for individual planning applications.

Planning Obligation: A legally enforceable obligation entered into under section 106 of the Town and Country Planning Act 1990 to mitigate the impacts of a development proposal.

Potential Special Protection Area (pSPA): A site which is undergoing consideration for designation as a Special Protection Area and on which the Government has initiated public consultation on the case for designation. See also possible potential Special Protection Area (ppSPA) below.

Previously Developed Land (PDL – also known as ‘brownfield’ land):

The National Planning Policy Framework (NPPF, 2024) definition of ‘previously developed’ land is:

Land which has been lawfully developed and is or was occupied by a permanent structure and any fixed surface infrastructure associated with it, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed). It also includes land comprising large areas of fixed surface infrastructure such as large areas of hardstanding which have been lawfully developed. Previously developed land excludes: land that is or was last occupied by agricultural or forestry buildings; land that has been developed for minerals extraction or waste disposal by landfill, where provision for restoration has been made through development management procedures; land in built-up areas such as residential gardens, parks, recreation grounds and allotments; and land that was previously developed but where the remains of the permanent structure or fixed surface structure have blended into the landscape.

Primary Shopping Area: Defined area where retail development is concentrated.

Possible Potential Special Protection Area: Area put forward by Nottinghamshire Wildlife Trust as having the qualifying characteristics of a Special Protection Area. May be formally proposed as a Potential Special Protection Area in due course. The area is centred on Sherwood Forest and includes land within Gedling’s administrative area.

Publication Version: First full draft of the Local Plan, prepared for formal representations to be made.

Regeneration: Development which delivers wider benefits such as economic prosperity, improved environmental conditions and enhanced wellbeing. This may be in the context of urban and previously developed sites but also applies to development which helps to sustain and revitalise rural areas and villages.

Renewable and Low Carbon Energy: Renewable energy is generated using those energy flows that occur naturally and repeatedly in the environment – from the wind, the fall of water, the movement of the oceans, from the sun and also from biomass and deep geothermal heat. Low carbon technologies are those that can help reduce emissions, compared to conventional use of fossil fuels.

Robin Hood Line: The passenger railway line developed to connect Nottingham, Hucknall, Kirkby-in-Ashfield, Mansfield and Worksop.

Scheduled Monument: Nationally important monument, usually archaeological remains, that enjoys greater protection against inappropriate development through the Ancient Monuments and Archaeological Areas Act 1979.

Section 106 Agreement (S106): Section 106 of the Town and Country Planning Act 1990 allows a Local Planning Authority to enter into a legally binding agreement or planning obligation with a landowner in association with the grant of planning permission. This agreement is a way of addressing matters that are necessary to make a development acceptable in planning terms and secures the provision of essential services and infrastructure, such as highways, recreational facilities, education, health and affordable housing.

Sequential Test / Approach: A systematic test or approach to planning decisions which requires certain sites or locations to be fully considered for development before consideration then moves on to other sites or locations. This test or approach is used for retail development, the use of previously developed land or the use of land at risk of flooding.

Setting of a Heritage Asset: The National Planning Policy Framework (NPPF, 2024) definition of 'Setting of a heritage asset' is:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

Significance of a Heritage Asset: The National Planning Policy Framework (NPPF, 2024) definition of 'significance (for heritage policy)' is:

The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.

Site of Special Scientific Interest (SSSI): A site designated by Natural England under the Wildlife and Countryside Act 1981.

Smarter Travel Choices: See Demand Management.

Soundness: As part of the process of preparing the Local Plan, the document is examined by the Planning Inspectorate to make sure it is legally compliant and sound. There are four 'tests of soundness' as set out in paragraph 36 of the National Planning Policy Framework (NPPF, 2024):

Positively prepared – providing a strategy which, as a minimum, seeks to meet the area's objectively assessed needs, and is informed by agreements with other authorities, so that unmet need from neighbouring areas is accommodated where it is practical to do so and is consistent with achieving sustainable development;

Justified - an appropriate strategy, taking into account the reasonable alternatives, and based on proportionate evidence;

Effective – deliverable over the plan period, and based on effective joint working on cross-boundary strategic matters that have been dealt

with rather than deferred, as evidenced by the statement of common ground; and

Consistent with national policy - enabling the delivery of sustainable development in accordance with the policies in the Framework and other statements of national planning policy, where relevant.

Spatial Objectives: Principles by which the Spatial Vision will be delivered.

Spatial Planning: Spatial planning goes beyond traditional land use planning to bring together and integrate policies for the development and use of land with other policies and programmes which influence the nature of places and how they function.

Spatial Portrait: A description of the social, economic and environmental characteristics of a local authority's area.

Spatial Vision: A brief description of how an area will be changed by the end of a Plan period.

Special Protection Area (SPA): An area which has been identified as being of international importance for the breeding, feeding, wintering or the migration of rare and vulnerable species of birds. They are European designated sites, classified under the Birds Directive.

Statement of Community Involvement (SCI): A document which sets out how a council will involve the community on planning applications and in the preparation of planning documents.

Strategic Environmental Assessment (SEA): A procedure (set out in the Environmental Assessment of Plans and Programmes Regulations 2004) which requires the formal environmental assessment of certain plans and programmes which are likely to have significant effects on the environment.

Strategic Flood Risk Assessment (SFRA): Assessment used to refine information on areas that may flood, taking into account all sources of flooding and the impacts of climate change. Used to determine the variations in flood risk from all sources of flooding across and from each local authority area. SFRAs should form the basis for preparing appropriate policies for flood risk management.

Strategic Housing Land Availability Assessment (SHLAA): Document with the role of identifying sites with potential for housing, assessing their likely housing capacity and assessing when they are likely to be developed.

Strategic Housing Market Assessment (SHMA): A high-level assessment of the likely profile of future household needs for a local authority. For the Gedling Borough Local Development Plan, the Greater Nottingham and Ashfield Housing Needs Assessment was published in October 2020 and updated in March 2024, with an associated First Homes Assessment published in September 2022.

Strategic Road Network (SRN): includes the network of motorways and major A roads and is managed by National Highways.

Student Households: Households which can claim student council tax exemption including those within halls of residence.

Submission Draft: Final draft of the Local Plan, submitted to the Secretary of State for Housing, Communities and Local Government, subject to independent examination by the Planning Inspectorate, which includes public hearings and the subsequent Inspector's report.

Sub Regional Centres: Towns which are large enough to contain a critical mass of services and employment. For Greater Nottingham these are Hucknall and Ilkeston.

Supplementary Planning Document (SPD): A document which adds further detail to the policies in the Local Plan. Can be used to provide further guidance for development on specific sites, or on particular issues, such as design. Supplementary Planning Documents are capable of being a material consideration in planning decisions but do not form part of the development plan. SPDs are to be replaced by Supplementary Plans. Details of Supplementary Plans are awaited; however, they will be subject to examination and will form part of the development plan. Design codes will take the form of Supplementary Plans; however, it appears that Supplementary Plans will otherwise only be able to deal with site- or area-specific issues.

Sustainability Appraisal (SA): Examines the social, environmental and economic effects of strategies and policies in a Local Development Document from the outset of its preparation.

Sustainable Development: The National Planning Policy Framework (NPPF, 2024) refers to Resolution 42/187 of the United Nations General Assembly which defined sustainable development as meeting the needs of the present without compromising the ability of future generations to meet their own needs. The NPPF states that the planning system therefore has overarching and interdependent economic, social and environmental objectives.

Sustainable Drainage System (SuDS): The system of control of surface water runoff, designed to reduce the potential impact on new and existing development with respect to surface water drainage discharge.

Sustainable Urban Extension (SUE): An extension to the built up area of a town or city, built in line with sustainable development principles, aimed at creating a mixed and balanced community, integrating the extension with the existing urban fabric, including the provision of necessary infrastructure such as public transport, parks and open spaces etc, whilst also providing for the needs of the new community in terms of jobs and social infrastructure such as education.

Town Centre (within retail hierarchy): The National Planning Policy Framework (NPPF, 2024) definition of 'town centre' is:

Area defined on the local authority's policies map, including the primary shopping area and areas predominantly occupied by main town centre uses within or adjacent to the primary shopping area. References to town centres or centres apply to city centres, town centres, district centres and local centres but exclude small parades of shops of purely neighbourhood significance. Unless they are identified as centres in the development plan, existing out-of-centre developments, comprising or including main town centre uses, do not constitute town centres.

Transport Assessment (TA): The National Planning Policy Framework (NPPF, 2024) definition of 'transport assessment' is:

A comprehensive and systematic process that sets out transport issues relating to a proposed development, in the context of the vision for the scheme. It identifies measures required to support alternatives to the car such as walking, cycling and public transport, and to promote accessibility and safety, together with measures that will be needed to deal with the anticipated transport impacts of the development.

Travel Plan: The National Planning Policy Framework (NPPF, 2024) definition of 'travel plan' is:

A long-term management strategy for an organisation or site that seeks to deliver sustainable transport objectives and is regularly reviewed.

Travelling Showpeople: The Government's 'Planning policy for traveller sites' (PPTS, 2023) definition of 'travelling showpeople' is:

Members of a group organised for the purposes of holding fairs, circuses or shows (whether or not travelling together as such). This includes such persons who on the grounds of their own or their family's or dependants' more localised pattern of trading, educational or health needs or old age have ceased to travel temporarily or permanently, but excludes Gypsies and Travellers.

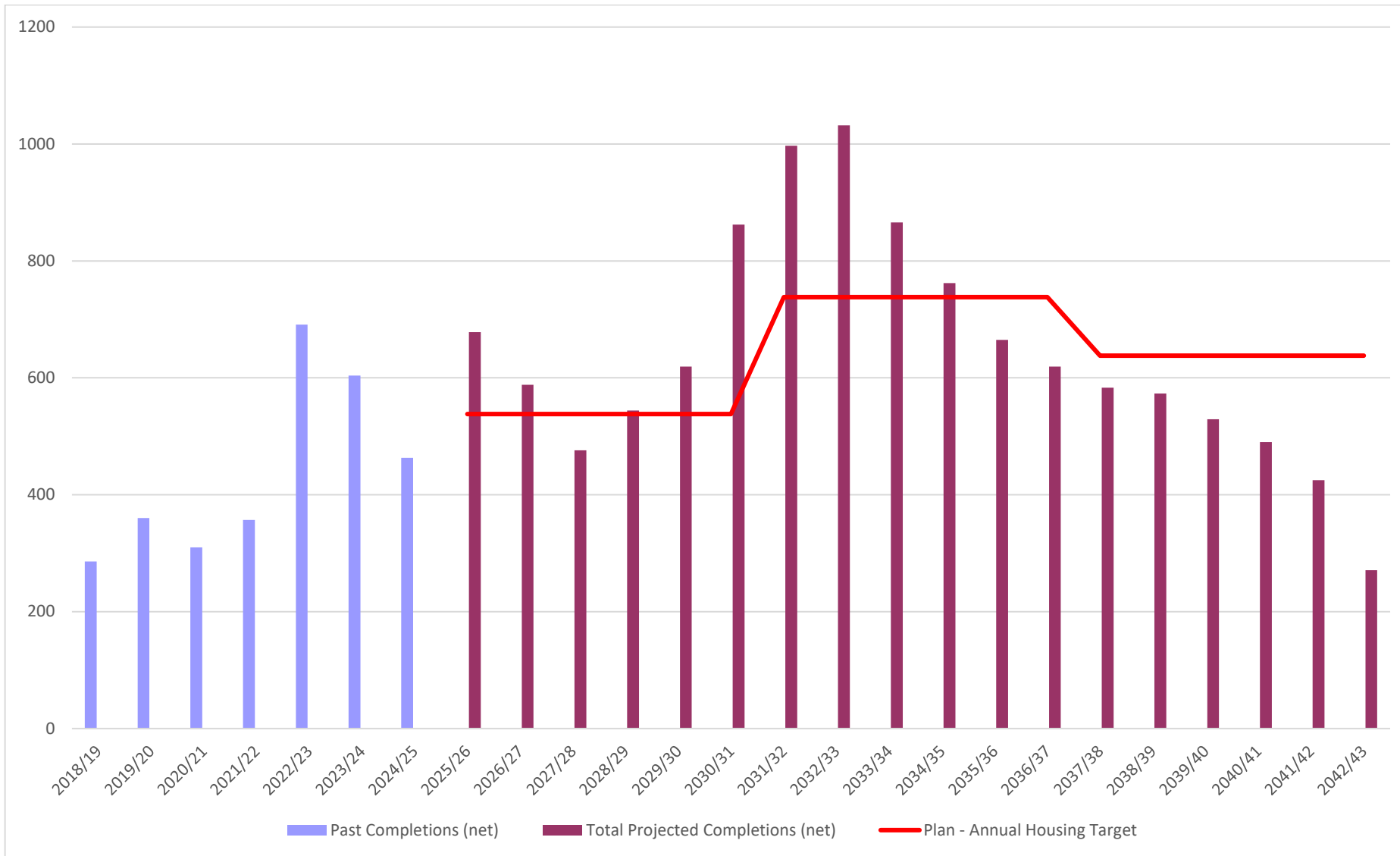
Use Classes Order: The Town & Country Planning (Use Classes Order) 1987 (as amended) specifies various classes of use for buildings or land. Within each class the use for another purpose of the same class does not require planning permission.

Waste Local Plan: Prepared jointly by the County and City Councils acting as the authorities responsible for waste-related issues including disposal, treatment, transfer and recycling within the County.

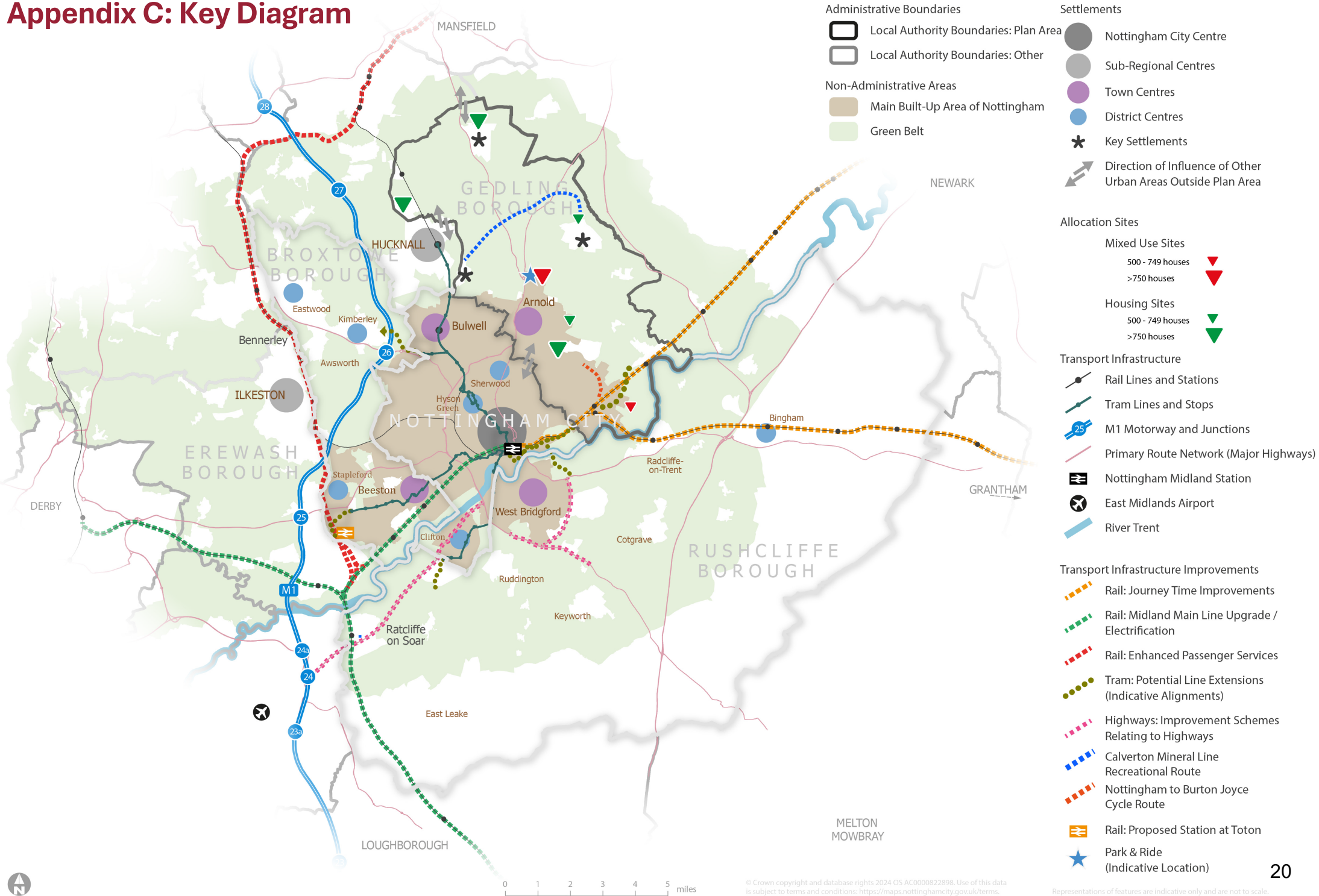
Windfall Site: A site which has not been specifically identified as available in the Local Plan process. Normally comprises a previously developed site that has unexpectedly become available.

Appendix B: Housing Trajectory

	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31	2031/32	2032/33	2033/34	2034/35	2035/36	2036/37	2037/38	2038/39	2039/40	2040/41	2041/42	2042/43	TOTAL	
Sites under construction	616	358	195	120	1															1,290
Sites with planning permission	64	235	184	158	154	127	102	101	39											1,164
Sites without planning permission			77	26	15	237	231	184	138	82	53	22								1,065
GLDP allocations			25	117	328	378	543	627	568	559	490	475	460	450	405	365	300	145		6,235
Windfall				128	128	128	128	128	128	128	128	128	128	128	128	128	128	128	128	1,920
Lapse	-2	-5	-5	-5	-7	-8	-7	-8	-7	-7	-6	-6	-5	-5	-4	-3	-3	-2		-95
Projected completions	678	588	476	544	619	862	997	1032	866	762	665	619	583	573	529	490	425	271		11,579
Cumulative completions	678	1266	1742	2286	2905	3767	4764	5796	6662	7424	8089	8708	9291	9864	10393	10883	11308	11579		11,579
Annual housing target	538	538	538	538	538	538	738	738	738	738	738	738	638	638	638	638	638	638		11,484
Annual housing target (cumulative)	538	1076	1614	2152	2690	3228	3966	4704	5442	6180	6918	7656	8294	8932	9570	10208	10846	11484		



Appendix C: Key Diagram



Administrative Boundaries

- Local Authority Boundaries: Plan Area
- Local Authority Boundaries: Other

Non-Administrative Areas

- Main Built-Up Area of Nottingham
- Green Belt

Settlements

- Nottingham City Centre
- Sub-Regional Centres
- Town Centres
- District Centres
- Key Settlements
- Direction of Influence of Other Urban Areas Outside Plan Area

Allocation Sites

- Mixed Use Sites
 - 500 - 749 houses
 - >750 houses
- Housing Sites
 - 500 - 749 houses
 - >750 houses

Transport Infrastructure

- Rail Lines and Stations
- Tram Lines and Stops
- M1 Motorway and Junctions
- Primary Route Network (Major Highways)
- Nottingham Midland Station
- East Midlands Airport
- River Trent

Transport Infrastructure Improvements

- Rail: Journey Time Improvements
- Rail: Midland Main Line Upgrade / Electrification
- Rail: Enhanced Passenger Services
- Tram: Potential Line Extensions (Indicative Alignments)
- Highways: Improvement Schemes Relating to Highways
- Calverton Mineral Line Recreational Route
- Nottingham to Burton Joyce Cycle Route
- Rail: Proposed Station at Toton
- Park & Ride (Indicative Location)



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Representations of features are indicative only and are not to scale.

Appendix D: Design Code Framework Principles

The Gedling Borough Council Design Code Framework principles are provided below in their entirety. For Major Sites (10 or more dwellings) all principles should be considered. You 'must' meet any Mandatory Requirements for each design principle. You 'should' also consider any Desirable Requirements for each design principle, which could enhance the overall assessment of the design proposal. More information is provided in the 'Major Sites' document on the Council's website.

For Small Sites (1 to 9 dwellings) and Extensions and Alterations, two standalone documents follow this section in full. These standalone documents are colour-coded and include visuals, maps and design examples to guide planning applications.

Characterful Gedling Principles

C1 - Development Patterns

Design proposals **must**:

- a) align with the Settlement Vision, Placemaking Strategy and Actions identified for relevant Settlement and Local Area Types in the Core Document; and
- b) demonstrate that they have drawn on distinctive development patterns in the settlements, as shown with the Spatial Typologies in the Observation Library.

In the **Urban Area**:

- at the **Suburban-Rural Interface**, consider the character of adjacent rural landscapes and adjacent settlements, and other local distinctive features.
- in the **Suburbs**, including the **Former Colliery Suburbs** demonstrate how the development pattern has drawn on other local distinctive features.
- in or adjacent to the **Mature Suburbs**, draw on the unique features that contribute to the character of Woodthorpe and Porchester.

In the **Historic Villages** (and including the Historic Core of Gedling Village):

- draw on the design principles established in the Spatial Typologies in the Observation Library for:
 - 1) **Toft and Croft**.
 - 2) **Lanes**.
 - 3) **Communal Living Courtyard**.

In the **Former Colliery Villages**

draw on the design principles established in the Spatial Typologies in the Observation Library for:

- 4) **Compact Housing**.

In **Ravenshead Village**

- draw on the unique features of character, particularly in the **Woodland Residential** Local Area Type.

In the **Rural Areas**

- retain and enhance the character of landscapes with designs that are inspired by the character of existing buildings in the countryside.

C2 - Characterful Homes

New design proposals **must**:

- a) demonstrate how they reference the design detail of characterful housing from within the Borough including:
 - the **Historic Villages**, where homes are formed with an irregular pattern of farmsteads, linear houses and framework knitters cottages.
 - the **Former Colliery Villages**, where terraces create consistent set backs and are built symmetrically with architectural features and window openings that enhance their local distinctiveness.
 - the **Mature Suburbs**, where there are homes with a variety of individual designs. Detached homes in large plots in Woodthorpe are consistently spaced and have a variety of architectural features. In Porchester, within its grid of streets, there is a wider mix of types of individual designs on plots layout that create interest.
 - in **Ravenshead Village** homes are mainly detached on generous deep plots with mature landscapes that are well enclosed.
- b) demonstrate how designs have considered features that contribute to the character of the local area, as identified when observing and evaluating the site and context in STEP4.
- c) demonstrate that the design is sympathetic to its neighbours in terms of size, proportion and form.
- d) reflect existing patterns of spacings and maintain an appropriate distance between neighbouring dwellings.
- e) avoid sudden changes in height with neighbouring properties, particularly on sites with steep gradients.
- f) ensure that architectural features such as canopies, porches, bay windows, gables, brick detailing, eaves, window and door styles, and roof forms and pitches reflect the character of the local area and create variety and interest.

Design proposals for ancillary buildings such as cycle and bin storage **should**:

- a) reflect historic forms of storage provision such as accessible outhouse or coal houses, if this is characteristic of local context.

C3 - Densities

Design proposals must demonstrate how they will make the most efficient use of land with regard to Policy LPD33 whilst taking account of other key requirements, as follows:

- a) focusing areas of higher density housing around local facilities and services and public transport connections;
- b) reflecting plot ratios of the local area;
- c) avoiding tandem/backland developments;
- d) avoiding interrupting clear patterns in the heights, scale and massing of buildings and the spacing between them;
- e) using a range of densities where appropriate to contribute to the creation of a legible environment; and
- f) when redeveloping sites, considering the role that dwelling types may have in promoting higher densities without having an impact on existing development patterns. In this instance, plot ratios - the proportion of a plot that is built on, relative to neighbouring plots should be calculated to assess the impacts of increasing density.

C4 - Boundaries and Thresholds

Design proposals must:

- a) establish a clear rationale for the proposed boundary and threshold treatments that are locally specific;
- b) use boundary treatment design and materials which reflect local character;
- c) use boundary treatments to clearly distinguish between public and private areas;
- d) include boundary treatments that are of an appropriate type and height which do not create streets and spaces that lack natural surveillance;
- e) minimise the extents of rear or side boundaries that are exposed to streets or other public places;
- f) use 'open' boundary treatments or planting to allow for the movement of wildlife and contribute to Biodiversity Net Gain (BNG), such as with native hedgerows, timber fencing between gardens and treatments that integrate features such as hedgehog holes; and
- g) avoid close boarded fencing on boundaries facing the public realm and open spaces and car parking courts.

C5 - Materials

Design proposals **must**:

- a) identify building materials palettes for walls, roofs, boundaries, architectural details and public and private external areas;
- b) use locally distinctive materials where relevant and appropriate; and
- c) draw colour, finish and detailing from the surrounding context.

Greener Gedling Principles

G1 - Topography

Design proposals **must**:

- a) work positively with the existing landform and avoid or minimise the reprofiling of (or any need for engineered approaches - e.g. excessive or unsightly retaining walls to) the landform. Use bespoke building designs (such as split level properties) that respond to site levels rather than standard house types that may require more significant and intrusive land reprofiling and retaining structures;
- b) respond positively to the topography to minimise impacts on accessibility;
- c) avoid or minimise the need for engineered approaches to landform retention, such as through the use of more modest and regular retaining walls within rear gardens (rather than a larger retaining wall within the public realm); and
- d) where changes in levels need to be managed with retaining structures, use appropriate materials such as timber, gabion walls or brick terracing integrated with landscaping to create attractive retaining structures - concrete structures may be used if over-clad with an appropriate material.

Design proposals **should**:

- a) consider the configuration of rooms between floors, locating living rooms on upper floors for instance, where they can make the most of views offered by changes in topography, including opportunities for balconies and upper terraces.

G2 - Green and Blue Infrastructure

Design proposals **must**:

- a) protect and enhance existing distinctive features of Green and Blue Infrastructure and integrate them into open space proposals;
- b) create links to adjoining Green and Blue infrastructure (if any);
- c) include planting to improve the amenity of new and existing dwellings;
- d) provide SuDS / soakaways to help soften the relationship to the streetscape;
- e) protect and enhance existing nature conservation designations;
- f) protect and enhance existing habitats, create new habitats and contribute to Biodiversity Net Gain;
- g) improve amenity and recreational value; and
- h) provide a variety of open spaces in accordance with the Borough Councils standards.

G3 - Interfaces

Design proposals **must**:

- a) address ecological sensitivities with appropriate protection;
- b) in locations adjacent to town centres or retail, commercial and employment uses, create designs that protect future occupants amenity;

- c) avoid development with abrupt edges that lack connectivity and preclude views from the site into the countryside or of designated heritage assets;
- d) arrange land uses to ensure suitability for co-location;
- e) provide for connectivity which promotes active and sustainable modes of travel and opportunities for recreation;
- f) address visual sensitivities such as views with high quality design responses; and
- g) respond positively to their interfaces with surrounding existing and changing environments.

G4 - Micro-climate

Design proposals **must**:

- a) mitigate negative impacts such as winds and shadows of any existing large buildings;
- b) avoid creating inhospitable environments by considering the layout and arrangement of streets and spaces position of large buildings and how they will impact on wind and daylight penetration to amenity spaces;
- c) contribute to climate resilience, passive energy gains and energy efficiency, such as with south facing elevations with larger windows; and
- d) include tree planting which can assist in reducing wind exposure and urban heat island effects.

G5 - Low Carbon Homes

Design proposals **must**:

- a) use locally sourced materials;
- b) include rainwater harvesting;
- c) integrate permeable surfaces;
- d) integrate renewable or lower carbon technologies for heat and power such as photovoltaics and heat pumps; and
- e) integrate electric vehicle charging for off street car parking.

Design proposals **should**:

- a) minimise the use of primary materials by recycling and re-using demolition and excavation materials from site (where applicable) to minimise material leaving the site; and
- b) minimise non-material construction waste (e.g. packaging, timber, plastics) on site.

G6 - Water

Design proposals **must**:

- a) protect and enhance existing water courses and bodies and proactively incorporate them into new developments within open spaces and streets as placemaking features;
- b) carefully consider how to site buildings on sites where fluvial and surface water flooding patterns are found, to avoid areas of flood risk and manage surface water flooding;
- c) integrate SuDS into landscaping features that allow developments to provide effective resilience against future storm events whilst enhancing biodiversity and creating characterful streets; and
- d) advocate nature-based solutions to drainage, avoiding or minimising the need for engineered drainage infrastructure.

G7 - Biodiversity & Ecology

Design proposals **must**:

- a) provide connections between ecology habitats within and adjoining the site;
- b) protect and enhance existing features of ecology and biodiversity value; and
- c) avoid the use of artificial grass.

Design proposals **should**:

- a) consider additional features that can support biodiversity and ecology such as rain gardens, green roofs/walls, swift bricks, bee bricks, bird boxes, insect hotels and hedgehog shelters.

G8 - Open Space

New design proposals **must**:

- a) create a high quality, connected network of open spaces;
- b) respond positively to topography and existing site features and conditions;
- c) ensure all new developments face onto spaces – no back fences onto open spaces will be permitted;
- d) provide a variety of open space types that reflect historic forms;
- e) take a holistic approach to Biodiversity Net Gain so it aligns with achieving good design in terms of high quality streets, open spaces, Green Infrastructure and soft landscaping;
- f) make connections to the surrounding landscape and open spaces; and
- g) integrate SuDS features to create multifunctional spaces.

Connected & Healthy Gedling Principles

C+H1 - 20-Minute Neighbourhoods

Design proposals **must**:

- a) maximise the accessibility to existing local facilities and bus stops within walking and cycling catchments of the site with direct and attractive cycle and pedestrian connections;
- b) facilitate desire lines across the site between existing homes and local facilities;
- c) when local centres or other local facilities are required, be accessible with direct, convenient and attractive walking and cycling links that maximise their catchments;
- d) design local centres in major sites to enclose streets and spaces with active frontages and include convenient, covered and attractive cycle parking facilities that are safe and secure; and
- e) ensure that when integrating proposed bus services, allowing for routes that avoid the need for turning facilities and ensuring that all new homes are within a reasonable walking distance from bus stops.

C+H2 - Legibility

Design proposals **must**:

- a) maximise connections to existing neighbouring developments, streets and spaces, especially those that lead to local facilities and bus stops;
- b) create a hierarchy of streets that have their own character and can be easily recognised and followed when walking and cycling;
- c) enhance legibility by using three and two-dimensional cues such as landmarks, key buildings, other townscape measures, landscape and water features or streets that frame views towards visible landmarks; and
- d) locate open spaces and key landmark buildings such as taller buildings (e.g. three storeys or more) or those with more elaborate architectural features and details where they can play a role in helping people to navigate through an area.

C+H3 - Liveable Homes

Design proposals **must**:

- a) create plot ratios and retain outdoor amenity areas that reflect the character of the local area; and
- b) achieve a distance of not less than 1 metre between side elevations where two-storey development is proposed to avoid creating a terracing effect. ensure that dwellings do not overshadow neighbouring properties through applying the “45 degree” test. The 45-degree line should be drawn from the centre of the ground floor window for a single-storey extension and from the inner edge of the ground floor window for a two-storey extension.
- d) achieve a minimum back-to-back distance of 21 metres between homes up to two-storeys, avoiding interruptions in existing patterns of dwellings in how they are grouped and spaced. This distance must be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites lead to height differences between dwellings of at least one storey or more.

- e) achieve a minimum back-to-side distances of 11 metres between homes up to two storeys. This distance will need to be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites leads to height differences between dwellings of at least one storey or more; and
- f) ensure that any windows on the gable end walls (except on corner plots) must be to non-habitable rooms only, obscurely glazed to a minimum level of Pilkington 4 and are non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

Design proposals **should**:

- a) ensure that north facing properties are dual aspect, especially apartment units to ensure they benefit from sufficient natural light.

C+H4 - Street Design

Design proposals **must**:

- a) create street hierarchies with streets that reflect the character of places and afford priority to walking, cycling and accommodate bus services;
- b) maximise the mobility needs of different people and retain or enhance the permeability and connectivity with the existing movement network and avoid severing existing connections;
- c) minimise cul-de-sacs, which, must only be used where there are demonstrable constraints;
- d) where separate pedestrian and cycle links are to be provided between streets, create well lit and overlooked corridors, as wide as smaller residential streets - avoid lengthy narrow pedestrian and cycle links and passageways;
- e) maximise natural surveillance through the siting and orientation of buildings with ground floor windows;
- f) provide appropriate and non-obtrusive lighting;
- g) allow for future direct and ransom free connections to adjacent land; and
- h) integrate SuDS, landscaping and biodiversity features that can be adopted and managed.

Street design must meet technical highway standards if they are to be adopted. However, they must also be able to integrate features of the most characterful streets.

At the earliest stage in the design process, liaise with Nottinghamshire County Council's Highways to ensure that proposed streets meet adoption standards.

C+H5 - Cycle Parking

Design proposals **must**:

- a) provide cycle parking either within garages or in a secure covered storage. They must be convenient to access to encourage regular use; and
- b) for non-residential uses, include cycle storage for operational users and parking with cycle hoops for visitors, which will be covered and located where they can be overlooked, close to the entrances of buildings.

Design proposals **should**:

- a) take inspiration from historic forms of storage provision such as accessible outhouses or coal stores, or storage that can be integrated into front boundaries or porches of dwelling frontages.

C+H6 - Parking

Design proposals **must**, as permitted by standards:

- a) be well-integrated into streets, blocks and plots;
- b) not dominate the local environment;
- c) provide landscaped boundaries and tree planting to help soften the relationship to the streetscape;
- d) be designed to form part of the street's character with similar surface treatments and landscaping; and
- e) only include residential parking courts if they are enclosed by homes on at least two sides with ground floor frontages and benefit from suitable landscape surface and boundary treatments.

C+H7 - Waste Storage & Collection

Design proposals **must**:

- a) ensure that streets, in meeting wider Design Code principles, are able to accommodate refuse vehicles;
- b) identify forms of bin storage that have adequate capacity for the number of wheeled bins;
- c) for terraced homes, create waste storage solutions that are convenient for residents to use and do not involve carrying bins any further than 25m to the waste collection point. This may be achieved with ginnels or by integrating storage at the front of dwellings; and
- d) for communal waste, provide communal forms of storage as an integral part of the wider building or as separate and bounded covered accommodation that is landscaped and easily accessible for residents and refuse collection crews.

Sometimes a combination of approaches needs to be considered depending on the site size and mix of housing.

Design proposals **should**:

- a) take inspiration from historic forms of storage provision such as accessible outhouses or coal stores, or storage that can be integrated into front boundaries or porches of dwelling frontages.

An aerial illustration of a village, likely Gedling, showing a dense cluster of houses with brown roofs and green trees. A prominent church spire is visible in the center. The illustration is rendered in a light green and brown color palette, overlaid on a dark green background.

Gedling Borough Council Design Code Framework

Small Sites (1 to 9 dwellings) Design Code

NOVEMBER 2024

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Introduction

This document forms part of the Gedling Design Code Framework which sets out the Council's expectations for good design in the Borough. It encourages exemplar and innovative designs that align with the Framework Principles. The Framework comprises five documents:

- a Core Design Code Document which applies to all development and provides useful background information;
- a standalone Design Code for alterations and extensions;
- a standalone Design Code for small sites (1-9 dwellings) (this document);
- a standalone Design Code for major sites (10 dwellings and greater); and
- an Observation Library which contains valuable background information to support applicants in understanding sites and their contexts.

The Gedling Design Code must be taken into account when submitting a planning application for one to nine dwellings.

How to use this Document

Step 1

Establish if the site:

- is in a [conservation area](#);
- affects a [listed building](#); or
- affects a [non-designated heritage asset](#).

Step 2

Identify your site on the Coding Plan

Use the **Coding Plan** in the **Core Design Code Document** to identify the relevant Settlement Type and Local Area Type that the site is located in. The Core Design Code Document also provides helpful information on the character of the local area so you can ensure your proposal reflects the local context.

Step 3

Make sure your proposals accord with the Design Code requirements set out in the following pages. You will need to ensure that you have carefully observed the area around the application site.

Step 4

Complete the **checklist**, to show that all elements of the design code have been addressed. The case officer who assesses the planning application will use the same checklist to see if it complies with the design code. There may be valid grounds for not fully complying with the code(s) for reasons specific to a particular site or application, in which case any non-compliance should be fully justified.

Step 5

Submit the completed checklist with sufficient information to show how each Design Code requirement has been met, alongside other documents required as part of your planning application.

Design Code Principles

The Design Code addresses three themes, a **Characterful Gedling**, a **Greener Gedling** and a **Connected and Healthy Gedling**. Listed below are Design Principles that are relevant to proposals for developments of 1-9 dwellings. For each principle, applicants must observe the area around the application site to consider the local context and then be able to show that the proposal meets the design requirements for that principle. The reference (e.g. 'C1') for each principle cross refers to the Core Design Code Document which provides more detailed information.

For each principle, **observation** is important in order to consider the local context before demonstrating how each design requirement is met. For each principle there are requirements that **must** be met and requirements that **should** be met.



Characterful Gedling Principles

- C1 - Development Patterns**
- C2 - Characterful Homes**
- C3 - Densities**
- C4 - Boundaries and Thresholds**
- C5 - Materials**



Greener Gedling Principles

- G1 - Topography**
- G2 - Green and Blue Infrastructure**
- G3 - Interfaces**
- G4 - Micro-climate**
- G5 - Low Carbon Homes**
- G7 - Biodiversity & Ecology**



Connected & Healthy Gedling Principles

- C+H3 - Liveable Homes**
- C+H7 - Waste Storage & Collection**

Characterful Gedling Development Patterns



Settlements across Gedling Borough include key spaces and places, streets and built forms which are locally distinctive and characterful. How buildings are aligned, and the arrangement of streets and spaces will contribute to the character of the area. Orthogonal arrangements (Figure 1: Left) are more likely to be found in urban areas while curved streets with detached building forms (Figure 1: Centre) are more suburban. Irregular layouts (Figure 1: Right) can be seen in historic urban areas and villages.

Observe and Evaluate:

Applicants must observe the site and its context to identify patterns of development and key places and spaces adding character and local distinction. Applicants must demonstrate a clear understanding of the following:

- street and block patterns (including their size); and
- gateways and key spaces where streets meet.

Figure 1: Examples of how buildings are aligned with streets and spaces in different parts of the Gedling Borough

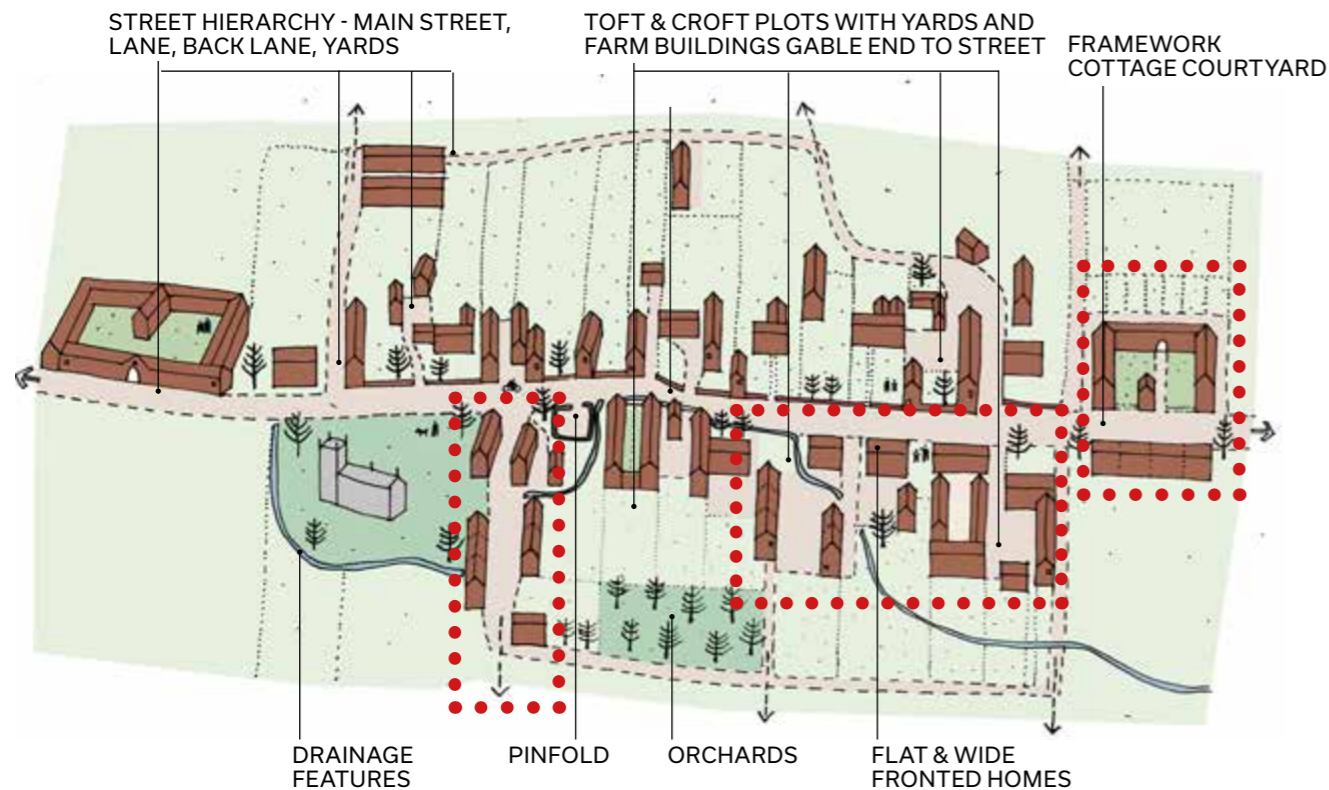
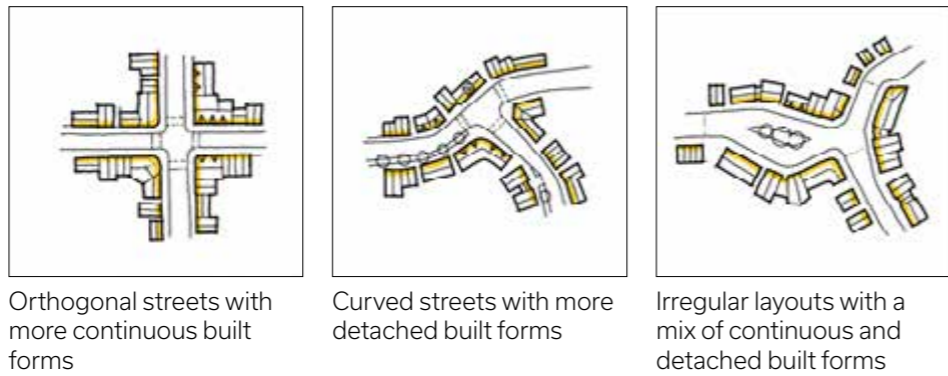


Figure 2: Historic Village Spatial Typologies in the Gedling Borough that show the variety of built forms addressing courts and streets © Proctor & Matthews



Figure 3: The patterns of built forms that can be found across settlements in the Gedling Borough that relate to the Historic Villages, Former Colliery Villages and Mature Suburbs in the Urban Area

An understanding of development patterns should be identified on plans and through survey work, which may also include photographs.

Mandatory Requirements:

Design proposals **must**:

a) reflect distinctive development patterns in the local area.

Characterful Gedling

Characterful Homes

The character of an area is also influenced by the size and configuration of plots. Design proposals need to reflect this plot structure and the design of new buildings needs to be influenced by the surrounding architectural character.

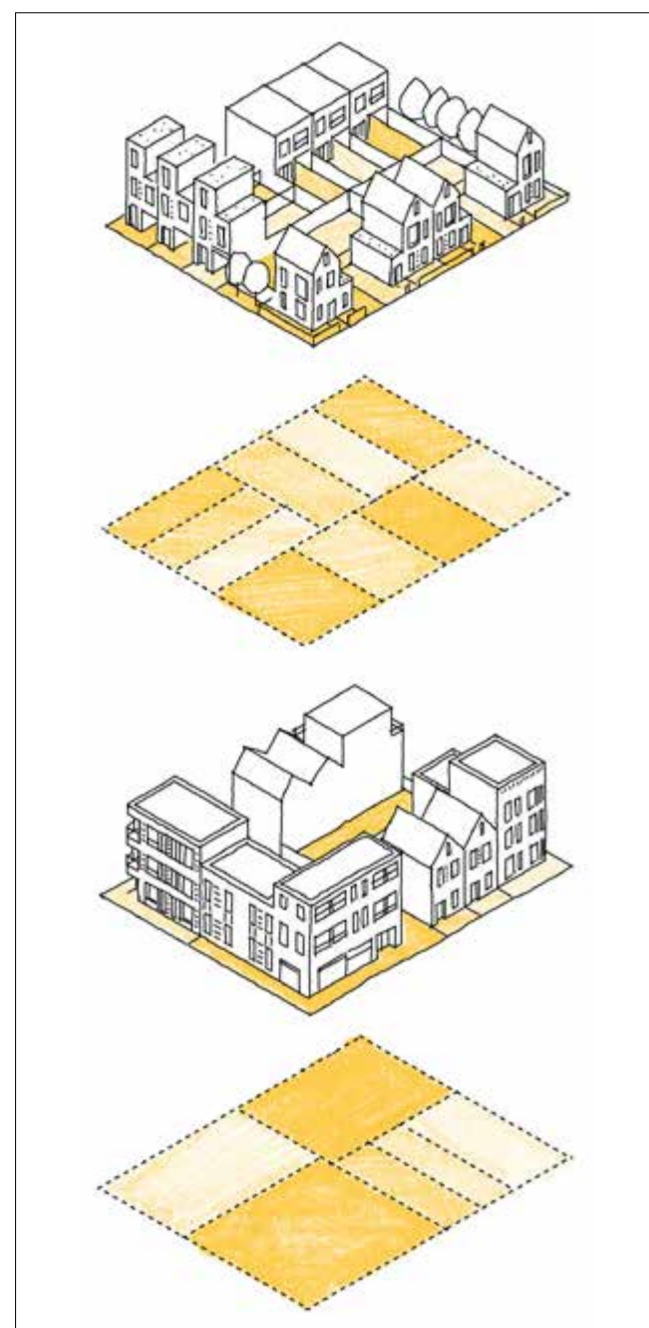


Figure 4: The size and configuration of plots contribute to the overall plot structure or “urban grain” and affects the size of buildings that are developed on them

Observe and Evaluate:

Applicants must observe the site and surrounding context and demonstrate a clear understanding of:

- the types of homes that contribute most to the character of the area and identity of the settlement;
- patterns of height, openness and enclosure, scale, massing, setbacks, plot depth, separation between dwellings and building lines;
- the relationship between frontages, the street and the amenity landscape;
- positive features within the more immediate context that contribute to local residential design; and
- attractive architectural features such as canopies, porches, bay windows, gables and brick detailing that contribute positively to the character of the area.

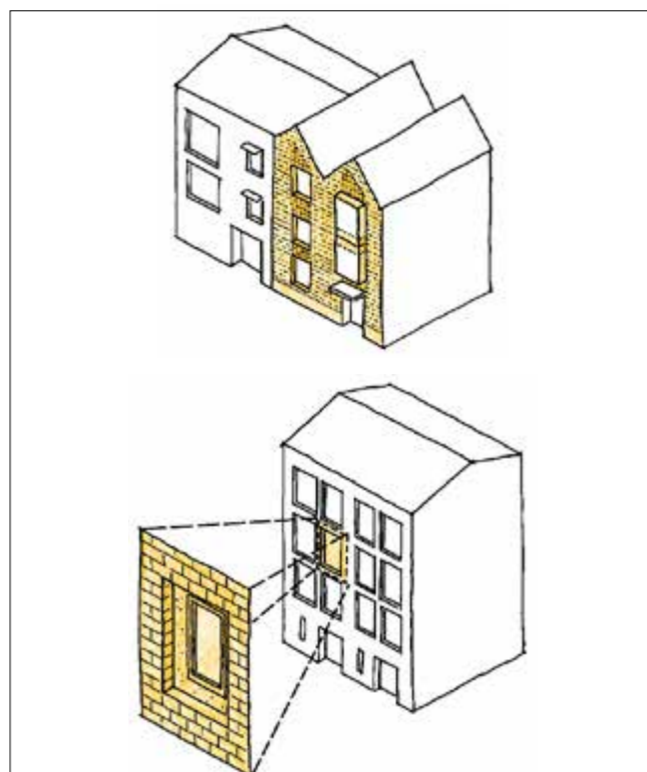


Figure 5: Including interesting details will ensure that buildings are attractive from a distance and close-up



Figure 6: Example of the architectural details that can be found at a traditional terraced house in Bestwood and framework knitter’s cottage in Woodborough

An understanding of local character and history should be identified on plans and through survey work, which may also include photographs.

Mandatory Requirements:

Design proposals **must**:

- have regard to features that contribute to the character of the local area, as identified through the Observation Stage. It is more appropriate for the design of new dwellings to reflect their more immediate context;
- demonstrate that the development is sympathetic to its neighbours in terms of size, proportion and form;
- avoid sudden changes in height with neighbouring properties, particularly on sites with steep gradients; and
- ensure that architectural features such as canopies, porches, bay windows, gables, brick detailing, eaves, window and door styles, and roof forms and pitches reflect the character of the local area and create variety and interest.

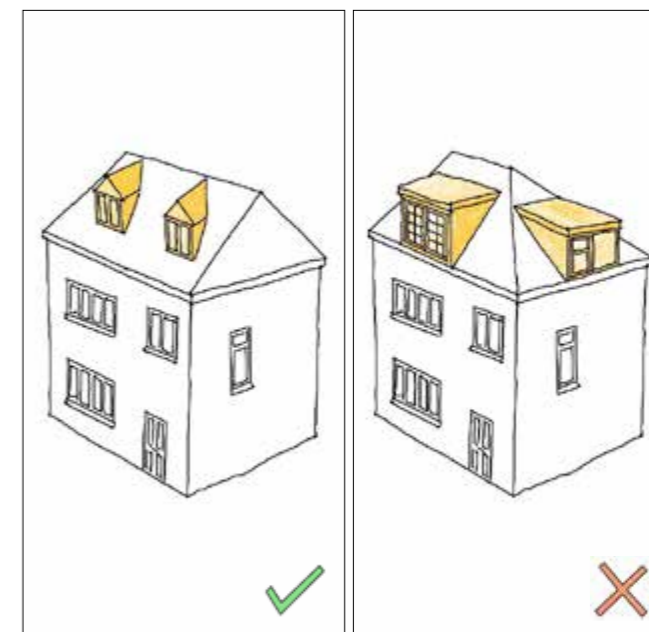


Figure 7: Getting the architectural detail right will be critical for features such as dormer windows

It should be noted that where the existing pattern of development does not accord with the design principles set out below, then this Design Code SPD takes priority over existing examples on the ground in order not to further erode local character. For sites where the immediate surroundings are dominated by generic or mixed designs, proposals must consider the wider context, making use of the Observation Library.

Desirable Requirements:

Design proposals for ancillary buildings such as for cycle and bin storage, **should**:

- reflect historic forms of storage provision such as accessible outhouses or coal stores, if this is characteristic of the local context.

Characterful Gedling

Densities



Densities vary across the Borough, reflecting a range of influences such as location, history, context, topography and access. Densities play an important role in defining settlement character and are affected by a set of features such as built forms, plot ratios and setbacks. The plot ratio is the proportion of building to its garden. Setback is the distance from the back of pavement to the building and will vary depending on the nature of the street.

Observe and Evaluate:

Applicants must observe the local context and demonstrate a clear understanding of the following:

- typical density ranges (to be expressed as dwellings per hectare);
- patterns of density in the locality; and
- key features that influence local density, such as plot depths and patterns, built forms, dwelling types, spacing and setbacks and levels of car parking provision.

An understanding of densities should be identified on plans and through survey work, which may also include photographs.

Mandatory Requirements:

Design proposals **must**:

- reflect plot ratios of the local area;
- avoid tandem/backland developments;
- avoid interrupting clear patterns in the heights, scale and massing of building and the spacing between them; and
- use dwelling types that are appropriate to the context and adjoining density.

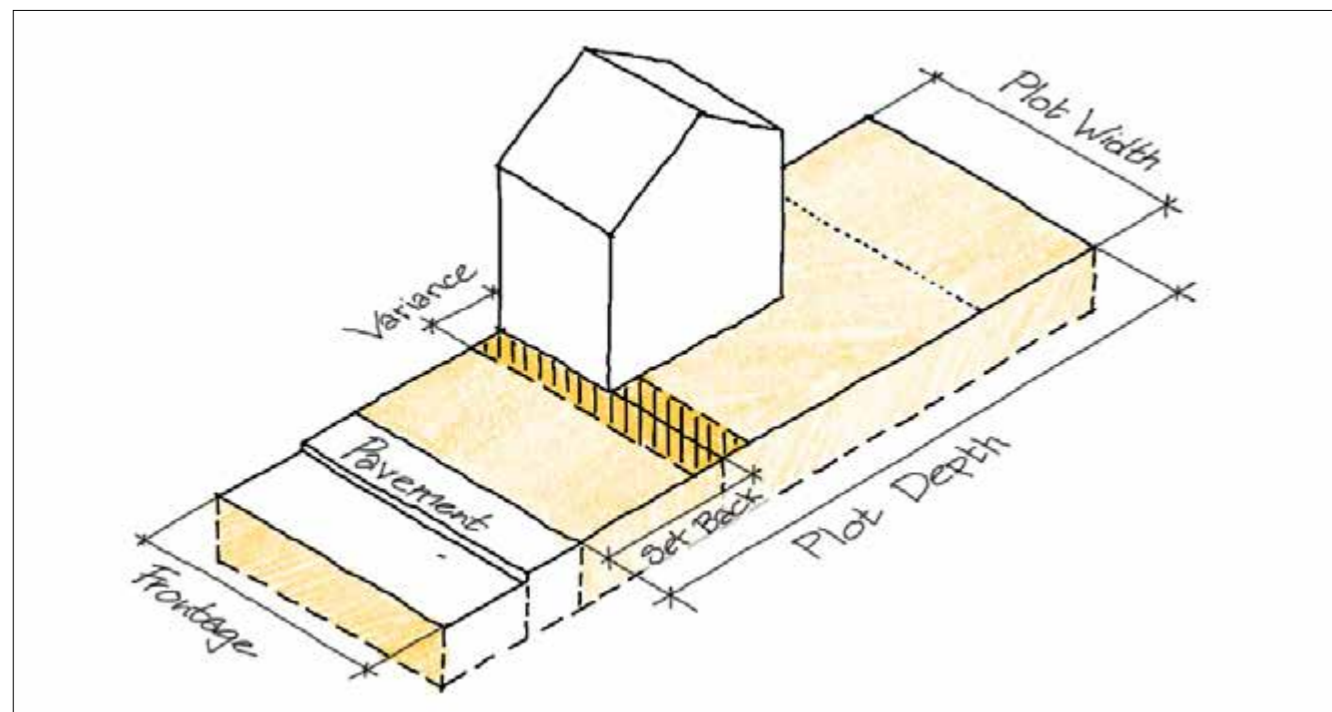


Figure 8: Key features of a plot and set back that can affect the density of development

Characterful Gedling

Boundaries and Thresholds



Boundaries and thresholds play an important role in defining the character of streets and spaces. They also define the distinction between private spaces (front gardens and drives) and public spaces (streets and pavements) and can help to create a high quality environment. Attractive streets and other public spaces are defined by the frontages of buildings around their edges, and a consistent approach to building line in an area type helps give a coherent identity.

Observe and Evaluate:

Applicants must demonstrate a clear understanding of the following in the local area:

- whether boundaries are generally open or closed and the proportion of each;
- the height, width and depth of common boundary treatments; and
- whether boundaries are hard or soft (planted) and the proportion of each.

An understanding of boundary treatments should be identified on plans and through survey work, which may also include photographs.

Mandatory Requirements:

Design proposals **must**:

- use boundary treatment design and materials which reflect local character;
- use boundary treatments to clearly distinguish between public and private areas;
- use 'open' boundary treatments or planting to allow for the movement of wildlife and contribute to Biodiversity Net Gain (BNG), such as with native hedgerows, timber fencing between gardens, and treatments that integrate features such as hedgehog holes; and
- avoid close boarded fencing on boundaries facing the public realm and car parking courts.

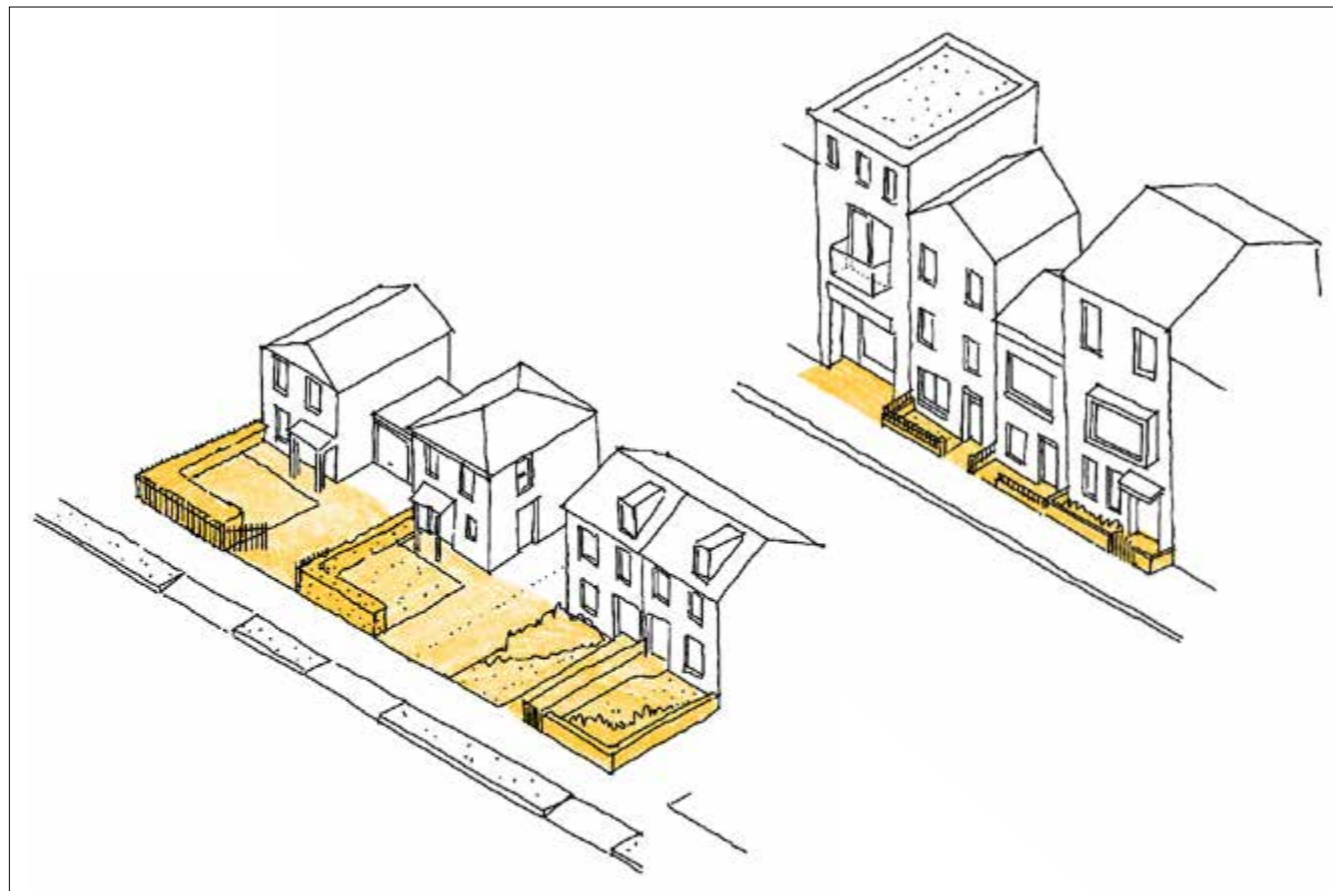
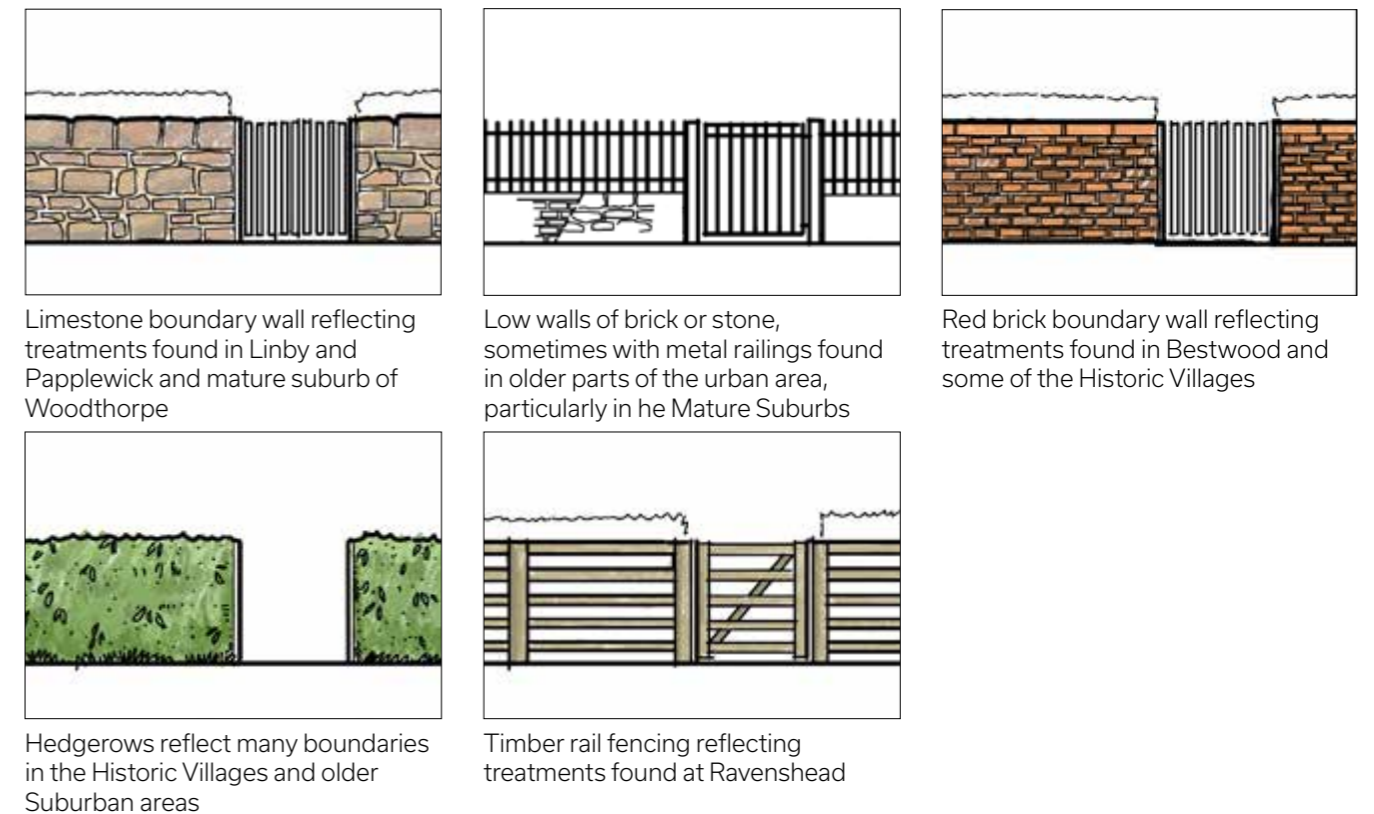


Figure 9: How frontages with consistent building lines, thresholds and boundaries can provide a coherent identity



Limestone boundary wall reflecting treatments found in Linby and Papplewick and mature suburb of Woodthorpe

Low walls of brick or stone, sometimes with metal railings found in older parts of the urban area, particularly in the Mature Suburbs

Red brick boundary wall reflecting treatments found in Bestwood and some of the Historic Villages

Hedgerows reflect many boundaries in the Historic Villages and older Suburban areas

Timber rail fencing reflecting treatments found at Ravenshead

Figure 10: Boundary Typologies that can be applied in Local Area Types in the Borough

Characterful Gedling Materials



Historic development has a clear connection to the surrounding landscape, local building materials and manufacturing expertise, which ensure that local character is distinctive. There is also an opportunity to enhance the biodiversity of the site through the provision of materials, such as supporting bird and bee populations.



Red-brown coloured pantile roof



Limestone roof tiles



Keuper marl brick



Limestone wall



Keuper marl brick



Limestone paving

Examples of the varied historic materials used across the Gedling Borough

Observe and Evaluate:

Applicants must demonstrate a clear understanding of:

- building materials for walls, roofs, boundaries and architectural features specific to the local area; and
- materials found within the public realm in the local area.

An understanding of materials should be identified on plans and through survey work, which may also include photographs. The Observation Library provides more information on materials that are distinctive to different parts of the Borough.

Mandatory Requirements:

Design proposals **must**:

- identify a building materials palette for walls, roofs, boundaries, architectural details and public and private external areas;
- use locally distinctive materials where relevant and appropriate; and
- draw colour, finish and detailing from the surrounding context.



Other Historic Villages feature red keuper marl brick with the use of render and with some brick walls painted, creating some variety in Calverton. Pantiles remain dominant



Locally distinctive surface materials include Staffordshire blue diamond pavers in Woodborough and granite setts. In Linby Limestone is used more extensively for paving slabs, setts and kerbs



Greener Gedling

Topography



The Borough is characterised by a varied topography which creates character and distinctive contexts for settlements, directly shaping how the Borough has evolved to the present day.

Observe and Evaluate:

Applicants must observe the topography of the site and its context and demonstrate a clear understanding of the following:

- direction of falls;
- slope gradients;
- ground conditions; and
- opportunities for locating Sustainable Urban Drainage Systems (SuDS) and landscaping in response to ground conditions.

An understanding of topography should be identified on plans and through survey work, which may also include photographs. For steep sites, include the sections. The Observation Library provides further information on how topography varies across the Borough.



Residential development on a steep slope at Standhill Avenue



Housing with narrow frontages on Green Lane, Lambley

Mandatory Requirements:

Design proposals **must**:

- work positively with the existing landform and avoid or minimise the reprofiling of (or any need for engineered approaches – e.g. excessive or unsightly retaining walls to) the landform. Use bespoke building designs (such as split-level properties) that respond to site levels rather than standard house types that may require more significant and intrusive re-profiling and retaining structures;
- respond positively to the topography to minimise impacts on accessibility;
- avoid or minimise the need for engineered approaches to landform retention, such as through the use of more modest and regular retaining walls within rear gardens (rather than a larger retaining wall within the public realm); and
- where changes in levels need to be managed with retaining structures, use appropriate materials such as timber, gabion walls or brick terracing integrated with landscaping to create attractive retaining structures - concrete structures may be used if over-clad with an appropriate material.

Desirable Requirements:

Design proposals **should**:

- consider the configuration of rooms between floors, locating living rooms on upper floors for instance, where they can make the most of views offered by changes in topography, including opportunities for balconies and upper terraces.



Example of a gabion retaining wall to manage changes in levels.

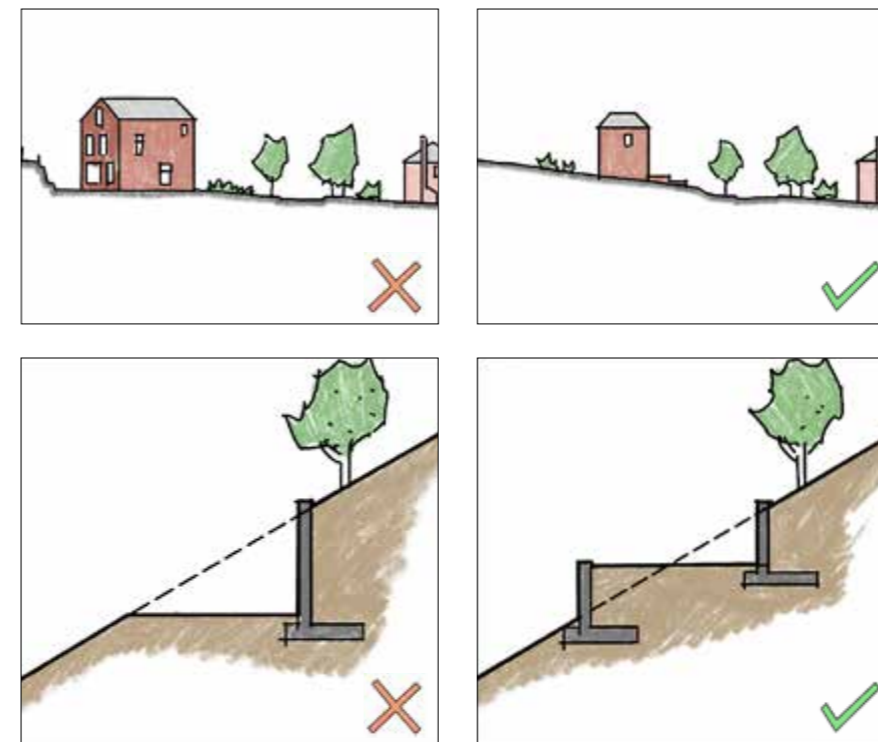


Figure 11: Illustration of how the scale, height and massing of development can affect the changes to the landform and need for banking or retaining walls

Figure 12: Where retaining structures are needed, avoid or minimise the need for overbearing retaining walls with more modest and regular retaining walls

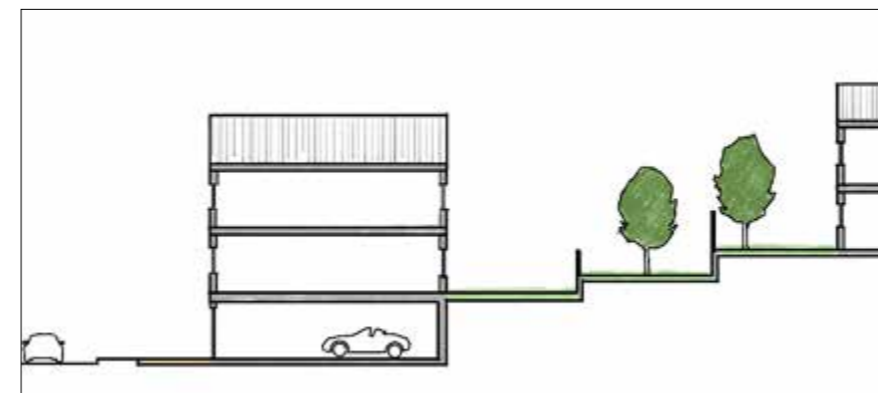


Figure 13: Steeper sites are more likely to require bespoke housing designs that will be more successful in responding to challenging gradients – where to locate car parking, rooms and minimise the height of retaining structures by terracing gardens

Greener Gedling

Green and Blue Infrastructure



There are a wide variety of landscapes and water features across the Borough, shaped over time by natural conditions and man-made interventions including coal mining and quarrying activity.

Observe and Evaluate:

Applicants must identify and assess any green and blue infrastructure features on the site and in the wider context, and demonstrate a clear understanding of opportunities for integrating:

- landscape character;
- distinctive green and blue infrastructure features;
- watercourses; and
- existing hedgerows, trees and woodland.

An understanding of green and blue infrastructure should be identified on plans and through survey work, which may also include photographs, to include areas that need to be protected from development as well as where new provision can add amenity value.

Mandatory Requirements:

Design proposals **must**:

- protect and enhance existing distinctive features of Green and Blue Infrastructure;
- create links to adjoining Green and Blue Infrastructure (if any);
- include planting to improve the amenity of new and existing dwellings; and
- provide SuDS/soakaways to help soften the relationship to the streetscape.



Hedgerows and trees are valuable ecological features to protect and enhance

Greener Gedling

Interfaces



Interfaces describe the physical relationship between a site and its surroundings. They play an important role in how a development can respond positively to neighbouring uses. Interfaces should not only be considered as constraints but as opportunities.

Observe and Evaluate:

Applicants must observe the edge conditions of the site and its relationship with the surrounding context and demonstrate a clear understanding of:

- neighbouring land uses and compatibility; and
- topography and level changes.

Mandatory Requirements:

Design proposals **must**:

- address ecological sensitivities with appropriate protection;
- in locations adjacent to town centres or other retail, commercial and employment uses, create designs that protect future occupants' amenity; and
- avoid development with abrupt edges that lack connectivity and preclude views from the site into the countryside or of designated heritage assets.

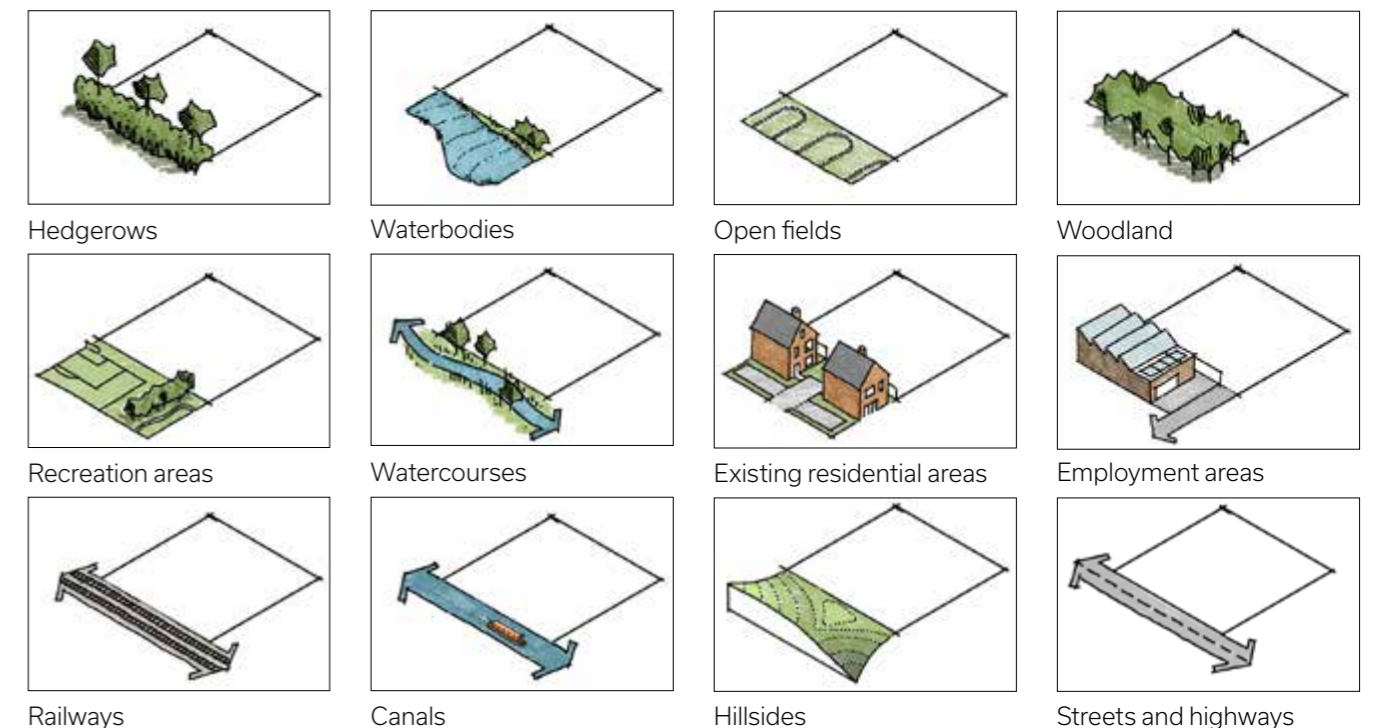


Figure 14: Examples of the variety of ways that sites interface with existing natural and built features

Greener Gedling Micro-climate



Exposure to micro-climates, created by wind, rain and sun and influenced by the changing topography and landscapes, has shaped the Borough as it exists today, in terms of both the landscape and the built environment.

Observe and Evaluate:

Applicants must observe the micro-climate of the site and its context and demonstrate a clear understanding of the following:

- the sun path;
- exposure to easterly and northerly winds; and
- micro-climate conditions.

An understanding of the micro-climate of the site should be identified on plans and through survey work, which may also include photographs.

Mandatory Requirements:

Design proposals **must**:

- mitigate negative impacts such as winds and shadows of any existing large buildings;
- avoid the creation of inhospitable environments, such as arrangements that can act as wind barriers or housing close to large scale buildings that offer limited daylight penetration to amenity spaces;
- contribute to climate resilience, passive energy gains, and energy efficiency, such as with south facing elevations with larger window openings; and
- include tree planting which can assist in reducing wind exposure and urban heat island effects.

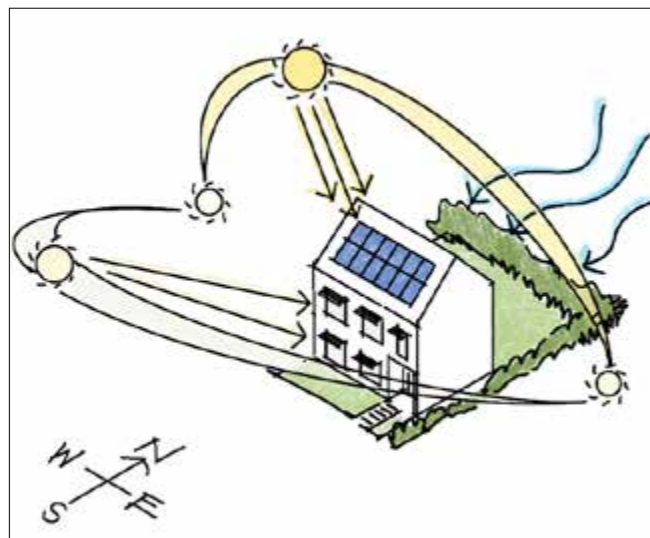


Figure 15: How to consider the layout and arrangement of development to respond to micro-climates

Greener Gedling Low Carbon Homes



There is an opportunity for the design of new development to help achieve a step change in sustainable design and construction. More information is provided in the Council's '[Low Carbon Planning Guidance](#)' (May 2021), which relates to large sites.

Observe and Evaluate:

Applicants must identify opportunities to optimise features that will minimise the carbon intensity of new development, including:

- renewable and low carbon forms of energy, such as photovoltaics and heat pumps;
- recycling and reusing construction materials; and
- electric vehicle charging.

Mandatory Requirements:

Design proposals **must**:

- use locally sourced materials;
- include rainwater harvesting;
- integrate permeable surfaces;
- integrate renewable or lower carbon technologies for heat and power such as photovoltaics or heat pumps; and
- integrate electric vehicle charging for off-street car parking.

Desirable Requirements:

Design proposals **should**:

- minimise the use of primary materials by recycling and re-using demolition and excavation materials from site (where applicable) to minimise material leaving the site; and
- minimise non-mineral construction waste (e.g. packaging, timber, plastics) on site.



Home electric vehicle charging



Example of a heat pump installation.

Greener Gedling

Biodiversity and Ecology



There is an opportunity to enhance the biodiversity of sites through the provision of features that support bird and bee populations.

Observe and Evaluate:

An understanding of features of biodiversity and ecology value should be identified on plans and through survey work, which may also include photographs. Applicants must demonstrate a clear understanding of:

- connectivity of habitats on site and beyond; and
- opportunities for increasing Biodiversity Net Gain across the site.

Mandatory Requirements:

Design proposals **must**:

- provide connections between ecology habitats within and adjoining the site; and
- avoid the use of artificial grass.

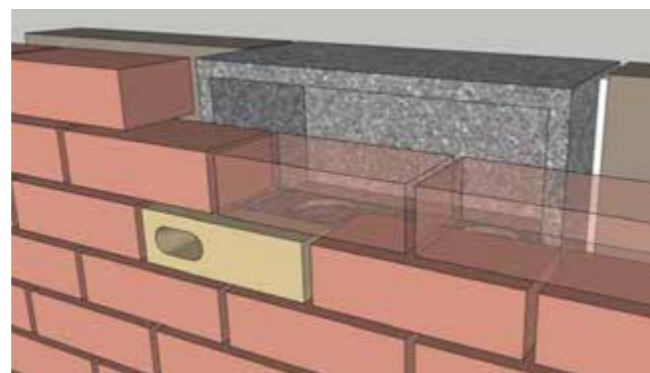
Desirable Requirements:

Design proposals **should**:

- consider additional features that can support biodiversity and ecology such as rain gardens, green roofs/walls, swift bricks, bee bricks, bird boxes, insect hotels and hedgehog shelters.



Image © Dick Newell



Options for protecting and enhancing biodiversity and ecology

Connected and Healthy Gedling

Liveable Homes



Well-designed residential developments are essential for the wellbeing of residents. New homes must be able to offer good levels of amenity and comfort both internally and externally and ensure they do not adversely impact on the amenity and comfort enjoyed by neighbouring residents.

Observe and Evaluate:

Applicants must observe:

- the proximity of existing homes to the site and whether / how the site boundary is defined with the front, rear or sides of existing dwellings and avoidance of overshadowing and overlooking;
- plot sizes relative to the size of existing dwellings and the amount of amenity space provided in the form of gardens, communal spaces and balconies; and
- the relationship of existing homes and other buildings with the site, including their scale, height, distance and windows.

Mandatory Requirements:

Design proposals **must**:

- create plot ratios and retain outdoor amenity areas that reflect the character of the local area; and
- achieve a distance of not less than 1 metre between side elevations where two-storey development is proposed.

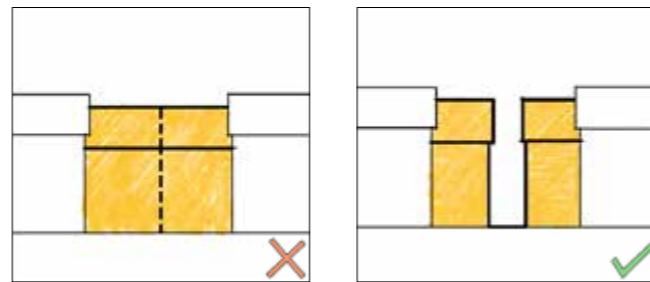


Figure 16: Avoid extending up to boundaries where this is likely to cause a terracing effect

Mandatory Requirements:

Design proposals **must**:

- ensure that dwellings do not overshadow neighbouring properties through applying the "45 degree" test. The 45-degree line should be drawn from the centre of the ground floor window for a single-storey extension and from the inner edge of the ground floor window for a two-storey extension.

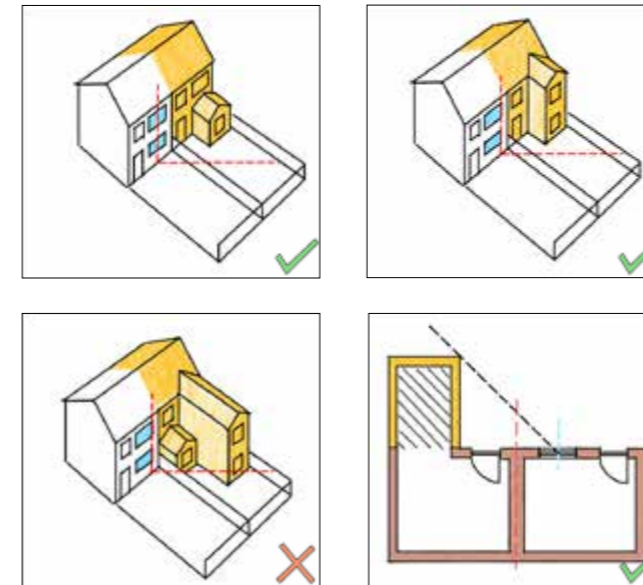


Figure 17: How to apply the "45 degree" test for single and two-storey extensions

Mandatory Requirements:

Design proposals **must**:

- achieve a minimum back-to-back distance of 21 metres between homes up to two-storeys, avoiding interruptions in existing patterns of dwellings in how they are grouped and spaced. This distance must be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites lead to height differences between dwellings of at least one storey or more.

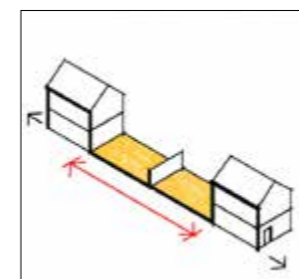


Figure 18: Houses that overlook each other require a minimum back-to-back distance of 21 metres

Mandatory Requirements:

Design proposals **must**:

- achieve a minimum back-to-side distance of 11 metres between homes up to two storeys. This distance will need to be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites leads to height differences between dwellings of at least one storey or more; and
- ensure that any windows on the gable end walls (except on corner plots) must be to non-habitable rooms only, obscurely glazed to a minimum level of Pilkington 4 and are non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

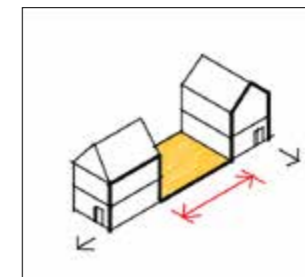


Figure 19: Side gable elevations opposing rear elevations require a minimum back-to-side distance of 11 metres

Desirable Requirements:

Design proposals **should**:

- ensure that north facing properties are dual aspect, especially apartment units to ensure they benefit from sufficient natural light.

Connected and Healthy Gedling

Parking



Car parking affects the quality of a place and how it is used, particularly by pedestrians. Careful design and integration of parking is important to ensure that it will contribute positively to the character of new developments, encourage efficient use and avoid inappropriately parked vehicles. Car parking standards are currently set by the Council's [Parking Provision for Residential and Non-Residential Developments Supplementary Planning Document \(February 2022\)](#). Cycle and motorcycle parking is addressed by Nottinghamshire County Council's [Highway Design Guide](#), which also provides guidance on the design of parking provision.

Observe and Evaluate:

Applicants must explore the site and its context to:

- identify provision for electric vehicle parking both on and off street;
- understand whether car parking is subject to any Traffic Regulation Orders (TROs) or local restrictions to manage limited supply (e.g. through Residential Permits or similar); and
- identify opportunities for forms of provision that can be well integrated into the proposed development.

Mandatory Requirements:

Design proposals **must**, as permitted by standards:

- a) be well-integrated into streets, blocks and plots;
- b) not dominate the local environment;
- c) provide landscaped boundaries and tree planting to help soften the relationship to the streetscape;
- d) be designed to form part of the street's character with similar surface treatments and landscaping; and
- e) only include residential parking courts if they are enclosed by homes on at least two sides with ground floor frontages and benefit from suitable landscape surface and boundary treatments.

Appendix A: Design Code Compliance Checklists

Small Sites (1 to 9 dwellings)

Planning Application Details

Applicant:

Description:

Site Location (Settlement Type + Local Area Type):

Read and referenced the Design Code: YES / NO

Instructions: You **MUST** comply with the Mandatory Requirements (shown in red) for each design principle set out in the Design Code. The information provided in support of the planning application **MUST** clearly explain how each design principle has been met. In terms of demonstrating compliance, it is the wording of the Design Code itself that takes precedence over the summary in this checklist.

Design proposals need to refer to the wording of the mandatory requirements. The checklist provides a summary for ease of reference.

If the application does not comply with one of the principles, applicants **MUST** submit sufficient justification and evidence, or your application may be refused. You should cross refer to the precise section of document submitted in support of the planning application which justify any non-compliance. Where any outputs are not applicable to your application site, you must indicate this in the table below, and provide justification if requested by your Case Officer.

Characterful Gedling



C1 - Development Patterns	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Reflect distinctive development patterns in the local area.				

C2 - Characterful Homes	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Have regard to features that contribute to the character of the local area, as identified through the Observation Stage.				
b) Demonstrate that the development is sympathetic to its neighbours in terms of size, proportion and form.				
c) Avoid sudden changes in height with neighbouring properties, particularly on sites with steep gradients.				
d) Ensure that architectural features such as canopies, porches, bay windows, gables, brick detailing, eaves, window and door styles, and roof forms and pitches reflect the character of the local area and create variety and interest.				
Design proposals should :				
a) Reflect historic forms of storage provision such as accessible outhouse and coal stores, if this is characteristic of the local context.				

C3 - Densities	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Reflect plot ratios of the local area.				
b) Avoid tandem/backland developments.				
c) Avoid interrupting clear patterns in the heights, scale and massing of buildings and the spacing between them.				
d) Use dwelling types that are appropriate to the context and adjoining density.				

Characterful Gedling



C4 - Boundaries and Thresholds	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Use boundary treatment design and materials which reflect local character.				
b) Use boundary treatments to clearly distinguish between public and private areas.				
c) Use 'open' boundary treatments or planting to allow for the movement of wildlife and contribute to Biodiversity Net Gain (BNG).				
d) Avoid close boarded fencing on boundaries facing the public realm and car parking courts.				
C5 - Materials	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Identify building materials palettes for walls, roofs, boundaries, architectural details and public and private external areas.				
b) Use locally distinctive materials where relevant and appropriate.				
c) Draw colour, finish and detailing from the surrounding context.				

Greener Gedling



G1 - Topography	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Work positively with the existing landform and use bespoke building designs to avoid or minimise the re-profiling of the landform.				
b) Respond positively to the topography to minimise impacts on accessibility.				
c) Avoid or minimise the need for engineered approaches to landform retention.				
d) Use appropriate materials integrated with landscaping for retaining structures – concrete may be used if overclad.				
Design proposals should :				
a) Consider the configuration of rooms between floors, locating living rooms on upper floors for instance, where they can make the most of views offered by changes in topography, including opportunities for balconies and upper terraces.				
G2 - Green and Blue Infrastructure	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Protect and enhance existing distinctive features of Green and Blue Infrastructure.				
b) Create links to adjoining Green and Blue Infrastructure.				
c) Include planting to improve the amenity of new and existing dwellings.				
d) Provide SuDS/soakaways to help soften the relationship to the streetscape.				

Greener Gedling



G3 – Interfaces	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Address ecological sensitivities with appropriate protection.				
b) Create designs that protect future occupants' amenity in locations adjacent to town centres or other retail, commercial and employment uses.				
c) Avoid development with abrupt edges that lacks connectivity and precludes views from the site into the countryside or of designated heritage assets.				

G4 - Micro-climate	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Mitigate negative impacts such as winds and shadows of any existing large buildings.				
b) Avoid the creation of inhospitable environments.				
c) Contribute to climate resilience, passive energy gains and energy efficiency.				
d) Include tree planting.				

G5 - Low Carbon Homes	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Use locally sourced materials.				
b) Include rainwater harvesting.				
c) Integrate permeable surfaces.				
d) Integrate renewable or lower carbon technologies for heat and power.				
e) Integrate electric vehicle charging for off-street car parking.				
Design proposals should :				
a) Minimise the use of primary materials by recycling and re-using demolition and excavation materials from site (where applicable).				
b) Minimise non-mineral construction waste on site.				

Greener Gedling



G7 - Biodiversity and Ecology	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Provide connections between ecology habitats within and adjoining the site.				
b) Avoid the use of artificial grass.				
Design proposals should :				
a) Consider additional features that can support biodiversity and ecology such as rain gardens, green roofs/walls, swift bricks, bee bricks, bird boxes, insect hotels and hedgehog shelters.				

Connected and Healthy Gedling



C+H3 - Liveable Homes	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Create plot ratios and retain outdoor amenity areas that reflect the character of the local area.				
b) Achieve a distance of not less than 1 metre between side elevations where two-storey development is proposed.				
c) Ensure that dwellings do not overshadow neighbouring properties through applying the "45 degree" test.				
d) Achieve a minimum back-to-back distance of 21m between homes up to two-storeys. This distance will need to be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites lead to height differences between dwellings of at least one storey or more.				
e) Achieve a minimum back-to-side distances of 11m between homes up to two storeys. This distance will need to be greater for homes with additional upper floors overlooking habitable rooms, or where changes in levels between sites leads to height differences between dwellings of at least one storey or more.				
f) Ensure that any windows on the gable end walls (except corner plots) must be to non-habitable rooms only, obscurely glazed to a minimum level of Pilkington 4 and are non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.				
Design proposals should :				
a) Ensure that north facing properties are dual aspect, especially apartment units to ensure they benefit from sufficient natural light.				

C+H6 - Parking	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Be well-integrated into streets, blocks and plots.				
b) Not dominate the local environment.				
c) Provide landscaped boundaries with tree planting.				
d) Be designed to form part of the street's character with similar surface treatments and landscaping.				
e) Only include residential parking courts if they are enclosed by homes on at least two sides with ground floor frontages.				

An aerial sketch of a town, likely Gedling, showing a dense residential area with a prominent church spire in the center. The sketch is rendered in a dark purple color and serves as the background for the document cover.

Gedling Borough Council Design Code Framework

Extensions and Alterations Design Code

NOVEMBER 2024

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Introduction

This document forms part of the Gedling Design Code Framework which sets out the Council's expectations for good design in the Borough. It encourages exemplar and innovative designs that align with the Framework Principles. The Framework comprises five documents:

- a Core Design Code Document which applies to all development and provides useful background information;
- a standalone Design Code for alterations and extensions (this document);
- a standalone Design Code for small sites (1-9 dwellings);
- a standalone Design Code for major sites (10 dwellings and greater); and
- an Observation Library which contains valuable background information to support applicants in understanding sites and their contexts.

The Design Code must be taken into account when submitting a planning application for an extension or alteration to your property.

How to use this Document

Step 1

Establish if the site:

- is in a [conservation area](#);
- affects a [listed building](#); or
- affects a [non-designated heritage asset](#).

Step 2

Identify your site on the Coding Plan

Use the **Coding Plan** in the **Core Design Code Document** to identify the relevant Settlement Type and Local Area Type that the property is located in. The Core Design Code Document also provides helpful information on the character of the local area so you can ensure your proposal reflects the local context.

Step 3

Make sure your proposals accord with the Design Code requirements set out in the following pages. You will need to ensure that you have carefully observed the area around the application site.

Step 4

Complete the **checklist** to show that all elements of the design code have been addressed. The case officer who assesses the planning application will use the same checklist to see if it complies with the design code. There may be valid grounds for not fully complying with the code(s) for reasons specific to a particular site or application, in which case any non-compliance should be fully justified.

Step 5

Submit the completed checklist with sufficient information to show how each Design Code requirement has been met, alongside other documents required as part of your planning application.

Design Code Principles

The Design Code addresses three themes, a **Characterful Gedling**, a **Greener Gedling** and a **Connected and Healthy Gedling**. Listed below are Design Principles that are relevant to proposals for developments of 1-9 dwellings. For each principle, applicants must observe the area around the application site to consider the local context and then be able to show that the proposal meets the design requirements for that principle. The reference (e.g. 'C1') for each principle cross refers to the Core Design Code Document which provides more detailed information.

For each principle, **observation** is important in order to consider the local context before demonstrating how each design requirement is met. For each principle there are requirements that **must** be met and requirements that **should** be met.



Characterful Gedling Principles

- C2 - Characterful Homes
- C4 - Boundaries and Thresholds
- C5 - Materials



Greener Gedling Principles

- G1 - Topography
- G7 - Biodiversity & Ecology



Connected & Healthy Gedling Principles

- C+H3 - Liveable Homes



Characterful Gedling

Characterful Homes

Locally distinctive homes play a key role in creating local character. Applicants must identify how their home and neighbouring properties contribute to the character of the local area and avoid any design features that continue to erode their character.

Observe and Evaluate:

Applicants must observe the local area and demonstrate a clear understanding of:

- patterns of building lines, set backs, building heights and separation distances.

It should be noted that where the existing pattern of development does not accord with the design principles set out below, then this Design Code SPD takes priority over existing examples on the ground in order not to further erode local character.

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- a) demonstrate that extensions are sympathetic to the main property and its neighbours.

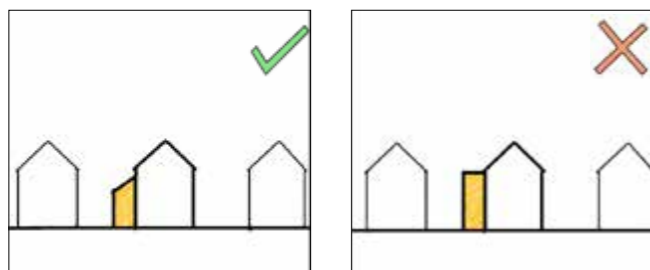


Figure 1: How to create an extension with a form that is sympathetic to the main property

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- b) reflect existing patterns of spacings between dwellings.

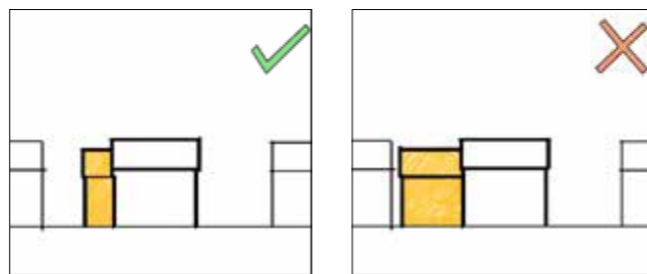


Figure 2: How to ensure that extensions reflect the patterns of spacings between dwellings

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- c) avoid sudden changes in height with neighbouring properties, particularly on sites with steep gradients.

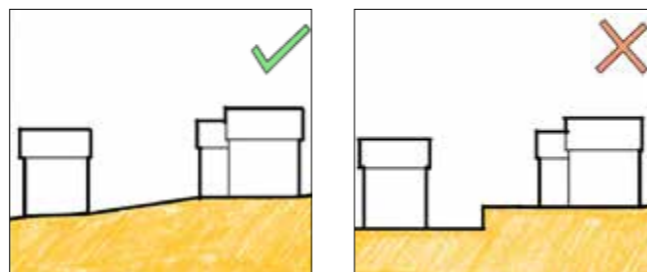


Figure 3: How to avoid sudden changes in height with neighbouring properties

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- d) be subservient to the scale and form of the original dwelling.

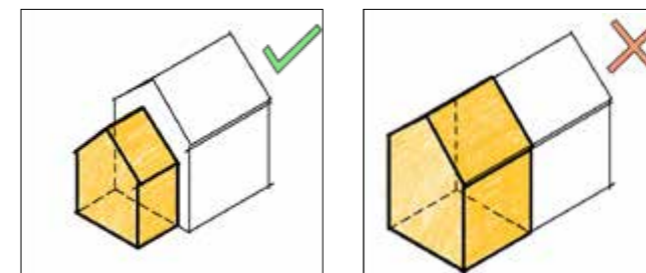


Figure 4: How to ensure that extensions are subservient to the scale and form of the original dwelling

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- e) adopt the same types of roof forms and match existing roof pitches of the main building for a two-storey side extension (other extensions, i.e. single-storey, rear extensions, to be considered on their merits).

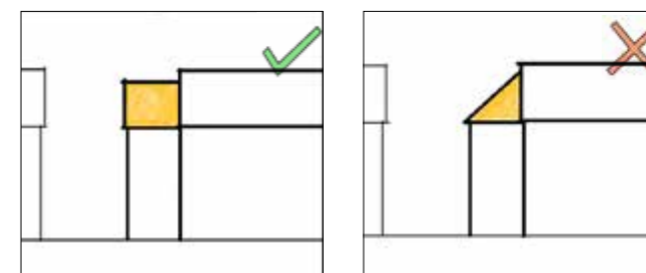


Figure 5: How to ensure that extensions adopt roof forms that match existing roof forms and pitches

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- f) reflect the existing pattern, sizes and proportions of architectural features such as porches, roof forms, window and door openings, eaves and verge detailing for a side extension (other extensions, i.e. rear extensions, to be considered on their merits).



Figure 6: How to ensure that the pattern and detail of architectural features reflect those on the original dwelling

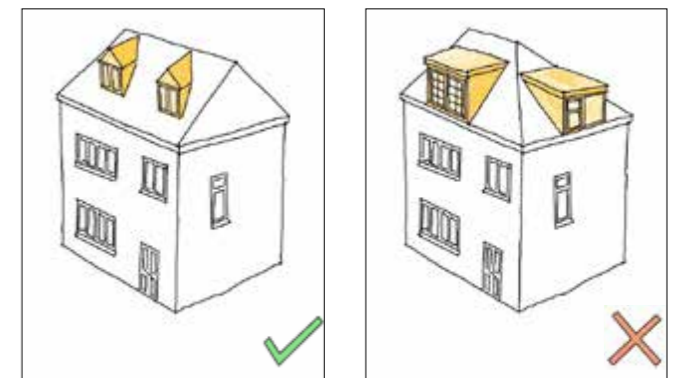


Figure 7: Getting the architectural detail right will be critical for features such as dormer windows



Characterful Gedling

Boundaries and Thresholds

Boundaries and thresholds play an important role in defining the character of streets and spaces, as much as individual dwellings. They also define the distinction between private spaces (front gardens and drives) and public spaces (streets and pavements) and can help to create a high quality environment.

Observe and Evaluate:

Applicants must observe the local area and understand:

- whether boundaries are generally open or closed and the proportion of each;
- the height, width and depth of common boundary treatments; and
- whether boundaries are hard or soft (planted) and the proportion of each.

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- use boundary treatment design and materials which reflect local character;
- use boundary treatments to clearly distinguish between public and private areas;
- use 'open' boundary treatments or planting to allow for the movement of wildlife and contribute to Biodiversity Net Gain (BNG), such as with native hedgerows, timber fencing between gardens and treatments that integrate features such as hedgehog holes; and
- avoid close boarded fencing on boundaries facing the public realm.



Stone boundary wall enclosing a garden in Woodborough contributes to street character

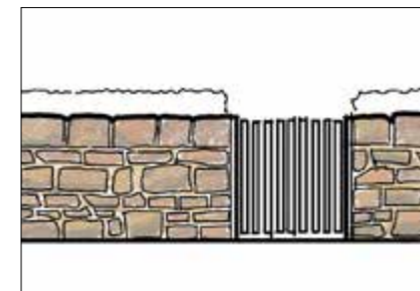


Continuous front boundary wall treatments in Bestwood, with distinctive gate pillars

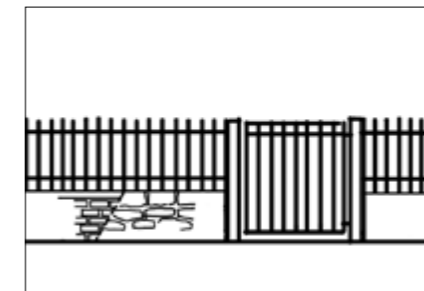


Soft boundary treatments in Ravenshead

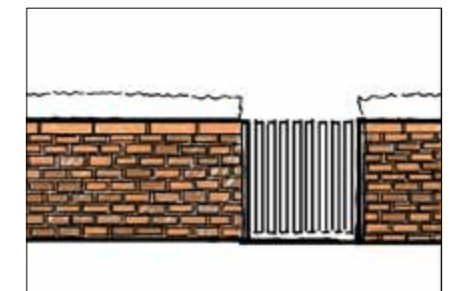
Examples of hard and soft boundary treatments that can be found in the Borough that contribute to the character of residential environments.



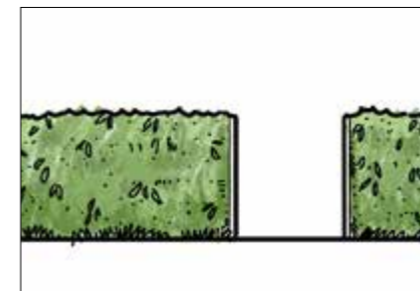
Limestone boundary wall reflecting treatments found in Linby and Papplewick and mature suburb of Woodthorpe



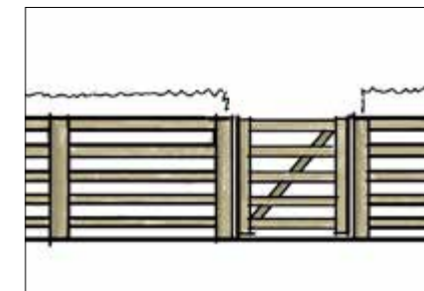
Low walls of brick or stone, sometimes with metal railings found in older parts of the urban area, particularly in the Mature Suburbs



Red brick boundary wall reflecting treatments found in Bestwood and some of the Historic Villages



Hedgerows reflect many boundaries in the Historic Villages and older Suburban areas



Timber rail fencing reflecting treatments found at Ravenshead

Figure 8: Boundary Typologies that can be applied in Local Area Types in the Borough

Characterful Gedling Materials



Historic development has a clear connection to the surrounding landscape, local building materials and manufacturing expertise, which ensure that local character is distinctive.

Observe and Evaluate:

Applicants must observe the local area and understand:

- the materials used in the locality; and
- identify those that contribute to local distinctive character.

Mandatory Requirements:

Design proposals **must**:

- identify a building materials palette;
- use materials that reflect and complement the main dwelling (extensions) or original dwelling (alterations); and
- use locally distinctive materials where relevant and appropriate.



Red-brown coloured pantile roof



Limestone roof tiles



Keuper marl brick



Limestone wall



Keuper marl brick



Limestone paving

Examples of the varied historic materials used across the Gedling Borough



Other Historic Villages feature red keuper marl brick with the use of render and with some brick walls painted, creating some variety in Calverton. Pantiles remain dominant



Locally distinctive surface materials include Staffordshire blue diamond pavers in Woodborough and granite setts. In Linby Limestone is used more extensively for paving slabs, setts and kerbs

Greener Gedling

Topography



Topography plays a vital role in shaping and defining the landscape, vegetation, and land uses. The Borough is characterised by a varied topography which creates character and distinctive contexts for settlements.

Observe and Evaluate:

Applicants must observe the local area and understand:

- the topography of the site, including direction and steepness of any slopes



Example of a gabion retaining wall to manage changes in levels.

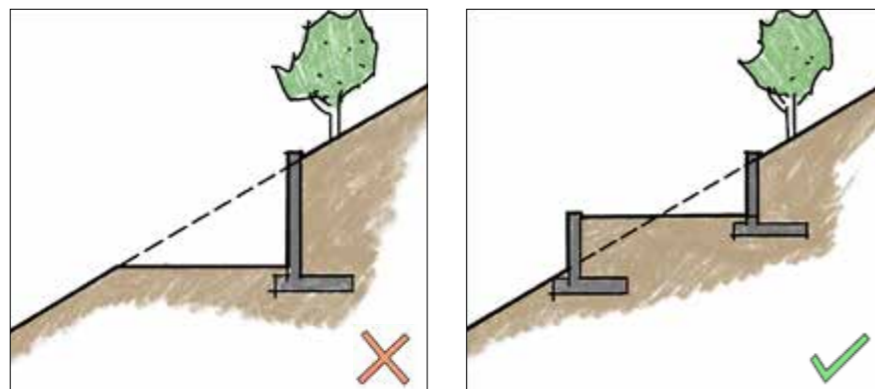


Figure 9: Where retaining structures are needed, avoid or minimise the need for overbearing retaining walls with more modest and regular retaining walls

Mandatory Requirements:

Design proposals must:

- work positively with the existing landform and avoid or minimise the reprofiling of (or any need for engineered approaches – e.g. excessive or unsightly retaining walls to) the landform;
- respond positively to the topography to minimise impacts on accessibility; and
- where changes in levels need to be managed with retaining structures, use appropriate materials such as timber, gabion walls or brick terracing integrated with landscaping to create attractive retaining structures - concrete structures may be used if over-clad with an appropriate material.

Greener Gedling

Low Carbon Homes



There is an opportunity for the design of extensions and alterations to help achieve a step change in sustainable design and construction. More information is provided in the Council's ['Low Carbon Planning Guidance'](#) (May 2021), which relates to large sites.

Observe and Evaluate:

Applicants must identify opportunities to optimise features that will minimise the carbon intensity of extensions and alterations, including:

- renewable and low carbon forms of energy, such as photovoltaics and heat pumps;
- recycling and reusing construction materials; and
- electric vehicle charging.



Home electric vehicle charging

Mandatory Requirements:

Design proposals must:

- use locally sourced materials;
- include rainwater harvesting;
- integrate permeable surfaces;
- integrate renewable or lower carbon technologies for heat and power such as photovoltaics or heat pumps; and
- integrate electric vehicle charging for off-street car parking.

Desirable Requirements:

Design proposals should:

- minimise the use of primary materials by recycling and re-using demolition and excavation materials from site (where applicable) to minimise material leaving the site; and
- minimise non-mineral construction waste (e.g. packaging, timber, plastics) on site.



Example of a heat pump installation.

Greener Gedling

Biodiversity and Ecology



There is an opportunity to enhance the biodiversity of sites through the provision of features that support bird and bee populations.

Observe and Evaluate:

Applicants must observe the local area and understand:

- the biodiversity of the site and its context, including connectivity of habitats and opportunities for increasing Biodiversity Net Gain across the site.

Mandatory Requirements:

Design proposals **must**:

- a) avoid the use of artificial grass.

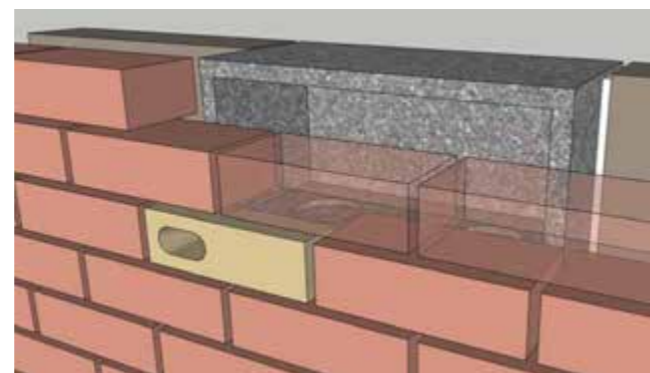
Desirable Requirements:

Design proposals **should**:

- a) consider additional features that can support biodiversity and ecology such as green roofs/walls, swift bricks, bee bricks, bird boxes, insect hotels and hedgehog shelters.



Image © Dick Newell



Options for protecting and enhancing biodiversity and ecology

Connected and Healthy Gedling

Liveable Homes



Extensions must be designed to ensure they do not adversely impact on the residential amenity enjoyed by neighbouring residents.

Observe and Evaluate:

Applicants must observe the local area and understand:

- the proximity of neighbouring dwellings and how an extension could impact upon daylight to habitable rooms (bedrooms, kitchens and living rooms); and
- any potential for extensions or alterations to adversely overlook neighbouring dwellings and their curtilage and consider how this can be avoided.

It should be noted that where the existing pattern of development does not accord with the design principles set out below, then this Design Code SPD takes priority over existing examples on the ground in order not to further impact on amenity.

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- ensure that plot ratios/outdoor amenity areas retained reflect the character of the local area; and
- maintain a distance of not less than 1 metre between side elevations where two-storey development is proposed to avoid creating a terracing effect.

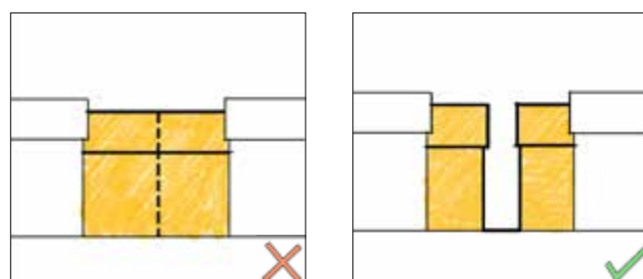


Figure 10: Avoid extending up to boundaries where this is likely to cause a terracing effect

Mandatory Requirements:

Design proposals **must**:

- ensure that extensions do not overshadow neighbouring properties, through applying the "45 degree" test. The 45-degree line should be drawn from the centre of the ground floor window for a single-storey extension and from the inner edge of the ground floor window for a two-storey extension.

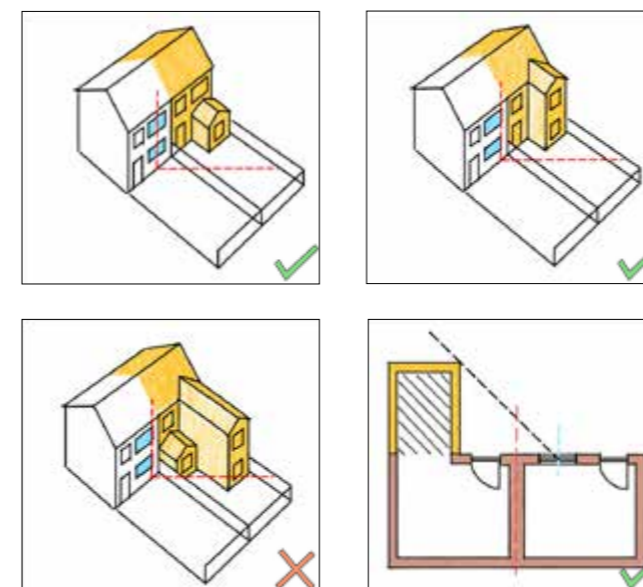


Figure 11: How to apply the "45 degree" test for single and two-storey extensions

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- maintain a minimum back to back distance of 21 metres between opposing rear elevations, of homes up to two-storeys, avoiding interruptions in existing patterns of dwellings in how they are grouped and spaced. Where back-to-back distances already conflict with this principle or where an additional storey is proposed over an existing single storey extension, consideration will be given to whether the extension would be overbearing or result in overlooking for neighbouring properties.

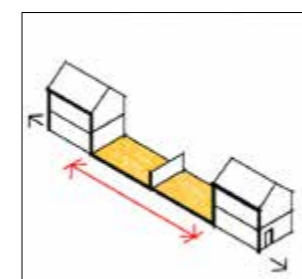


Figure 12: Houses that overlook each other require a minimum back-to-back distance of 21 metres

Mandatory Requirements:

When designing alterations and extensions, applications **must**:

- maintain a minimum back-to-side distance of 11 metres between any side gable wall and an opposing rear elevation of homes up to two storeys. This distance will need to be greater for homes more than two-storey, overlooking habitable rooms, or where changes in levels between sites leads to height differences between dwellings of at least one storey or more; and
- ensure that any windows on the gable end walls (except on corner plots) must be to non-habitable rooms only, obscurely glazed to a minimum level of Pilkington 4 and are non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

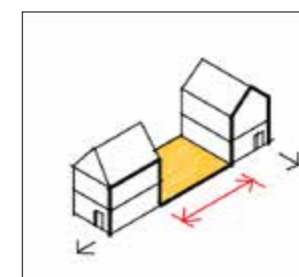


Figure 13: Side gable elevations opposing rear elevations require a minimum back-to-side distance of 11 metres

Desirable Requirements:

Design proposals **should**:

- ensure that north facing properties are dual aspect, especially apartment units to ensure they benefit from sufficient natural light.

Appendix A: Design Code Compliance Checklists

Extensions and Alterations

Planning Application Details

Applicant:

Description:

Site Location (Settlement Type + Local Area Type):

Read and referenced the Design Code: YES / NO

Instructions: You **MUST** comply with the Mandatory Requirements (shown in red) for each design principle set out in the Design Code. The information provided in support of the planning application **MUST** clearly explain how each design principle has been met. In terms of demonstrating compliance, it is the wording of the Design Code itself that takes precedence over the summary in this checklist.

Design proposals need to refer to the wording of the mandatory requirements. The checklist provides a summary for ease of reference.

If the application does not comply with one of the principles, applicants **MUST** submit sufficient justification and evidence, or your application may be refused. You should cross refer to the precise section of document submitted in support of the planning application which justify any non-compliance. Where any outputs are not applicable to your application site, you must indicate this in the table below, and provide justification if requested by your Case Officer.

Characterful Gedling



C2 - Characterful Homes	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Demonstrate that extensions are sympathetic to the main property and its neighbours.				
b) Reflect existing patterns of spacings between dwellings.				
c) Avoid sudden changes in height with neighbouring properties, particularly on sites with steep gradients.				
d) Be subservient to the scale and form of the original dwelling.				
e) Adopt the same types of roof forms and match existing roof pitches of the main building.				
f) Reflect the existing pattern, sizes and proportions of architectural features such as porches, roof forms, window and door openings, eaves and verge detailing.				

C4 - Boundaries and Thresholds	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Use boundary treatment design and materials which reflect local character.				
b) Use boundary treatments to clearly distinguish between public and private areas.				
c) Use 'open' boundary treatments or planting to allow for the movement of wildlife and contribute to Biodiversity Net Gain (BNG).				
d) Avoid close boarded fencing on boundaries facing the public realm.				

Characterful Gedling



C5 - Materials	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Identify a building materials palette.				
b) Use materials that reflect and complement the main dwelling (extensions) or original dwelling (alterations).				
c) Use locally distinctive materials where relevant and appropriate.				

Greener Gedling



G1 – Topography	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Work positively with the existing landform and avoid or minimise the reprofiling of the landform.				
b) Respond positively to the topography to minimise impacts on accessibility.				
c) Use appropriate materials integrated with landscaping for retaining structures – concrete may be used if overclad.				

G5 - Low Carbon Homes	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Use locally sourced materials.				
b) Include rainwater harvesting.				
c) Integrate permeable surfaces.				
d) Integrate renewable or lower carbon technologies for heat and power.				
e) Integrate electric vehicle charging for off-street car parking.				
Design proposals should:				
a) Minimise the use of primary materials by recycling and re-using demolition and excavation materials from site (where applicable).				
b) Minimise non-mineral construction waste on site.				

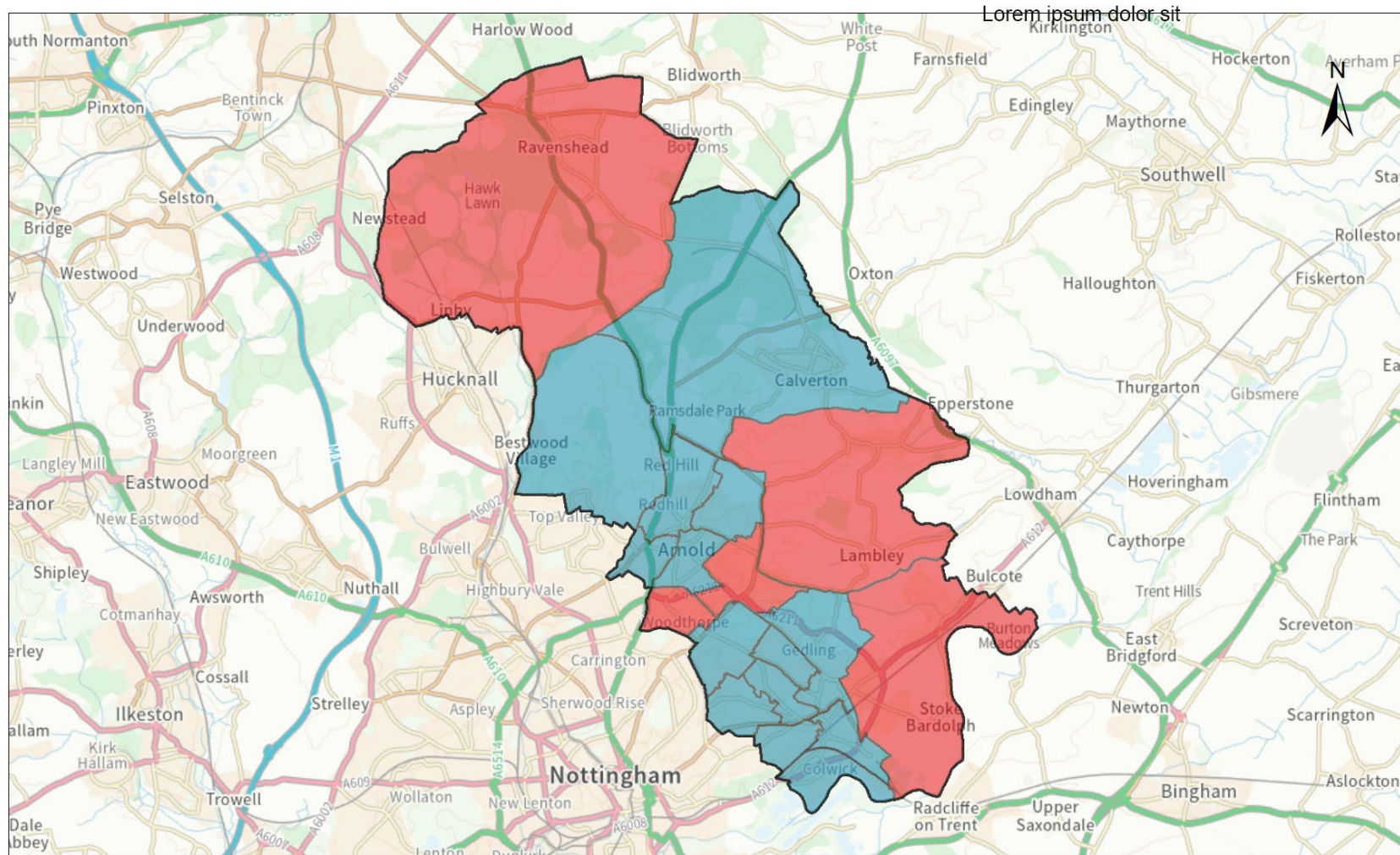
G7 – Biodiversity and Ecology	Yes	No	N/A	If 'No', justify
Design proposals must:				
a) Avoid the use of artificial grass.				
Design proposals should:				
a) Consider additional features that can support biodiversity and ecology such as green roofs/walls, swift bricks, bee bricks, bird boxes, insect hotels and hedgehog shelters.				

Connected and Healthy Gedling



C+H3 - Liveable Homes	Yes	No	N/A	If 'No', justify
Design proposals must :				
a) Ensure that plot ratios/outdoor amenity areas retained reflect the character of the local area.				
b) Achieve a distance of not less than 1 metre between side elevations where two-storey development is proposed.				
c) Ensure that extensions/dwellings do not overshadow neighbouring properties, through applying the "45 degree" test.				
d) Maintain a minimum back-to-back distance of 21m between opposing rear elevations of homes up to two-storeys, avoiding interruptions in existing patterns of dwellings in how they are grouped and spaced.				
e) Maintain a minimum back-to-side distance of 11m between any side gable wall and an opposing rear elevation of homes up to two storeys.				
f) Ensure that any windows on the gable end walls (except corner plots) must be to non-habitable rooms only, obscurely glazed to a minimum level of Pilkington 4 and are non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.				
Design proposals should :				
a) Ensure that north facing properties are dual aspect, especially apartment units to ensure they benefit from sufficient natural light.				

Appendix E: Affordable Housing Requirement Map



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Affordable Housing Requirement

- 20% outside the Green Belt (35% within)
- 30% outside the Green Belt (40% within)
- Borough Boundary

Appendix F: Parking Standards

Requirement for Residential Parking Provision

This appendix sets out the required residential parking standards for allocated and unallocated/visitor parking in Gedling Borough and summarises the guidance first published in February 2022 'Parking Provision for Residential and Non-Residential Development'. Different parking standards are required dependant on location, proposed size and proposed type of dwelling.

Interpretation of standards

The parking standards set out below in Tables 1 to 3 are minimum standards and should be interpreted alongside the 'general considerations' part of this section in order to ensure comprehensive consideration of parking requirements consistent with the National Planning Policy Framework (2021).

An **allocated** parking space includes any spaces within the curtilage of a residential property and spaces within communal areas that are reserved for one particular residential property. An **unallocated/visitor** parking space should be available to all residents associated with the development to meet the residential parking demand of the development and includes on-street car parking.

Development proposals for houses and bungalows

Houses and bungalows have varied requirements for both allocated and unallocated/visitor parking, dependant on the number of bedrooms per dwelling and the location of the proposal, as shown in **Table 1** and **Table 2**. The requirement for unallocated parking should be rounded up to the nearest whole number. Larger developments are more likely to create additional parking requirement arising from the broader range of car ownership levels, justifying the need for unallocated and visitor elements of parking provision. Each dwelling within a development should meet the parking provision requirement for both allocated and unallocated/visitor spaces. See **Appendix A** for the boundary of urban and rural areas.

Table 1: Parking requirement per dwelling for houses and bungalows – Urban		
No. Bedrooms	Parking requirement	
	Allocated spaces	Unallocated/ Visitor spaces
1	0	0.7
	1	0.3
	2	0.2
2	0	1.0
	1	0.4
	2	0.2
3	0	1.4
	1	0.7
	2	0.3
4+	0	2.3
	1	1.4*
	2	0.6*
	3	0.0

*Based on average car ownership of 2.2 due to insufficient data for 2.3 in Residential Car Parking Research for Nottinghamshire.

Table 2: Parking requirement per dwelling for houses and bungalows – Rural		
No. Bedrooms	Parking requirement	
	Allocated spaces	Unallocated spaces
1	0	0.8
	1	0.4
	2	0.2
2	0	1.1

Table 2: Parking requirement per dwelling for houses and bungalows – Rural		
	1	0.5
	2	0.2
3	0	1.5
	1	0.8
	2	0.3
4+	0	2.4
	1	1.4*
	2	0.6*
	3	0.0

*Based on average car ownership of 2.2 due to insufficient data for 2.4 in Residential Car Parking Research for Nottinghamshire.

Development proposals for flats, apartments or maisonettes

Developments for flats, apartments or maisonettes have varied requirements for both allocated and unallocated/visitor parking, dependant on the number of bedrooms per dwelling as shown in **Table 3**. The requirement for unallocated parking should be rounded up to the nearest whole number. Developments for flats, apartments or maisonettes generally have different car ownership patterns compared to houses, reflecting for example higher development densities and occupier demographics. The nature of developments is such that it is appropriate to require both allocated and unallocated spaces. Proposals with more than two bedrooms are less common therefore parking provision in this case will be determined on a case-by-case basis.

Table 3: Parking requirement for developments of flats, apartments or maisonettes – Urban and Rural		
No. Bedrooms	Parking requirement	
	Allocated spaces	Unallocated/ Visitor spaces
1	0	0.8*
	1	0.4*

Table 3: Parking requirement for developments of flats, apartments or maisonettes – Urban and Rural		
2	0	0.8
	1	0.4
	2	0.2

* Due to insufficient data, the calculated figure has been replaced with a standard multiplier (see Paragraph 3.9)

General Considerations

Garages will only count towards the allocated parking provision where they meet the below minimum internal dimensions.

- Standard single – 6m x 3m with minimum door width of 2.3m
- Double – 6m x 6m with minimum door width of 4.2m

Parking spaces should have a minimum dimension of 2.4m x 5.5m (and add 0.5m if bounded on one side by an obstruction such as a wall, fence, hedge or tree, or add 1m if bounded on both sides). Where driveways are to be counted as a parking space, the minimum distance from the garage door to the highway boundary will depend on the garage door type, as follows:

- No garage: 5.5m
- Roller shutter, sliding or inward opening garage door: 5.5m
- Up and over garage door: 6.1m
- Hinged, outward opening: 6.5m

Tandem spaces are acceptable but no more than three spaces in a line will be acceptable, to include one garage space and no more than two driveway spaces and subject to minimum dimensions of both garages and driveways being met.

Off street residential parking should be sited as close as possible to dwellings to ensure that they are fully utilised to reduce the burden of on-street parking. Separate communal parking areas away from individual properties are discouraged.

Whilst it is expected that the parking requirements are met, it is recognised that in certain circumstances a departure from the requirements may be appropriate. It is not intended that the requirements are definitive when **material considerations** otherwise exist (for example there may be existing parking controls in the area; it may be infill development where the local built form prevents the ability to include allocated parking; or the proposal may be for the change of use of upper floors). Where the parking requirement can be accommodated on-street, this may be acceptable provided it does not cause an adverse impact on the free flow of traffic, cyclists and

pedestrians. Where on-street parking provision is poorly designed, it can impair road safety, obstruct access for vehicles and footways, be a hazard to cyclists and pedestrians, make a development look cluttered and unattractive, and be a source of crime. For the safety of all road users, including pedestrians and cyclists, and to maintain efficient flow of traffic, it is important that developments include well designed on-street and off-street parking layouts that minimise the likelihood of on-street parking problems.

The expectation is that parking standards will be met, however if the development is served by one or more regular public transport service, this may be a material consideration justifying a reduced parking provision requirement, especially if a site is located within; or close to a central area.

The Air Quality and Emissions Mitigation Guidance for Developers (2019) establishes the Council's general support for **electric vehicle charging** infrastructure to be accommodated within new developments. The provision of such infrastructure is part of a suite of actions required in order to mitigate against air pollution in the Borough, as required by Policy GLDP 11. Given that electric/hybrid vehicles are becoming increasingly available, new residential developments should seek to enable more sustainable vehicle choices through the provision of electric vehicle charging points. In applying these parking standards, developers should include at least one electric vehicle charging point per dwelling, as part of the allocated parking.

All driveways and parking areas should be surfaced in a bound material, which is either permeable or includes appropriate drainage in the interests of highway safety and to minimise the risk of flooding.

Requirement for Non-Residential Parking Provision

Adopted Standards

Nottinghamshire County Council is the highway authority responsible for the local highway network in Gedling Borough and has adopted standards that set out the requirement for parking on non-residential developments. Where the below document refers to residential parking standards, it should be read in conjunction with this SPD which is based on the latest information.

- The **Nottinghamshire County Council Highway Design Guide** (2021) sets out at 4.1 Residential Parking section car parking standards concerning:
 - Driveway lengths (para 4.1.2)
 - Parking space widths (para 4.1.3)
 - Tandem parking (para 4.1.4)
 - Long driveways (para 4.1.5)

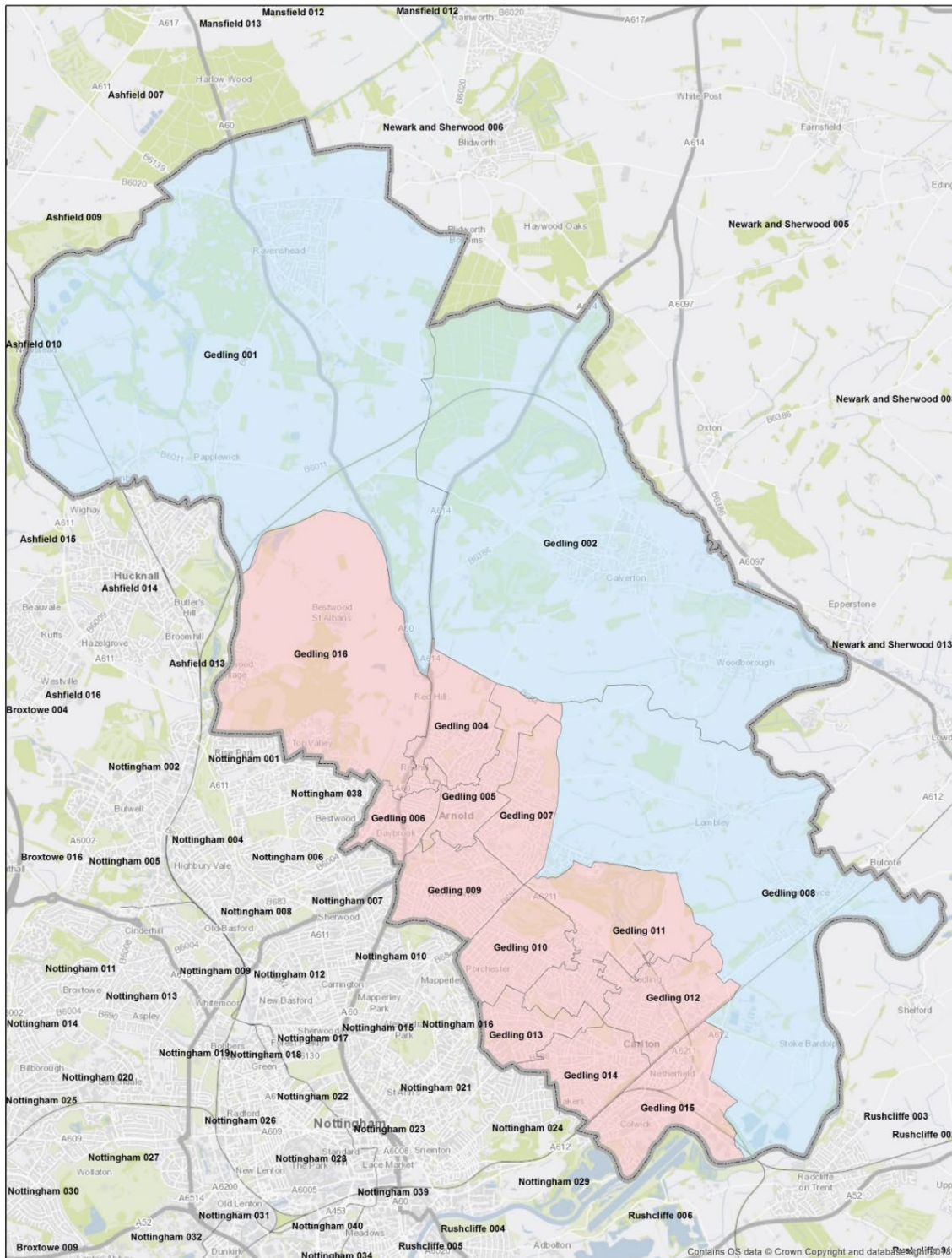
- Communal parking areas (para 4.1.6)
 - Gates (para 4.1.7)
 - Cycle parking (para 4.1.8)
 - Mobility scooters and motorcycle parking – and charging facility (para 4.1.9)
 - Residential turning heads (para 4.1.10)
 - Surfacing and drainage (para 4.1.11)
 - Driveway approach (para 4.1.12)
 - Electric vehicle (EV) charging (para 4.1.13)
- Section 4.2 Commercial Parking section sets out minimum parking standards for food retail, take-away hot food shops and drive-through restaurants, cafés and similar uses, offices, light and general industry, storage and distribution facilities, residential care homes and nursing homes, cinemas, assembly and leisure, conference facilities, higher education and stadia. The Design Guide gives specific guidance on:
- Departures from standard (para 4.2.3)
 - Normal minimum disabled parking standard (para 4.2.4)
 - Minimum servicing provision (para 4.2.5)
 - Parking for motorcycles (para 4.2.6)
 - Minimum cycle parking provision (para 4.2.7)
 - Electric vehicle charging (para 4.2.8)
 - Dimensions for car parking spaces within car parks (para 4.2.9)

The document can be viewed using the web-link below:

Nottinghamshire County Council, Highway Design Guide (2021)

<https://www.nottinghamshire.gov.uk/transport/roads/highway-design-guide>

Figure: Rural-Urban Classification of Gedling Borough



City Centre, Arnot Hill Park, Arnold, Nottinghamshire, NG5 6LU

Rural-Urban Classification of Gedling Borough

- Rural Zone
- Urban Zone
- Borough Boundary

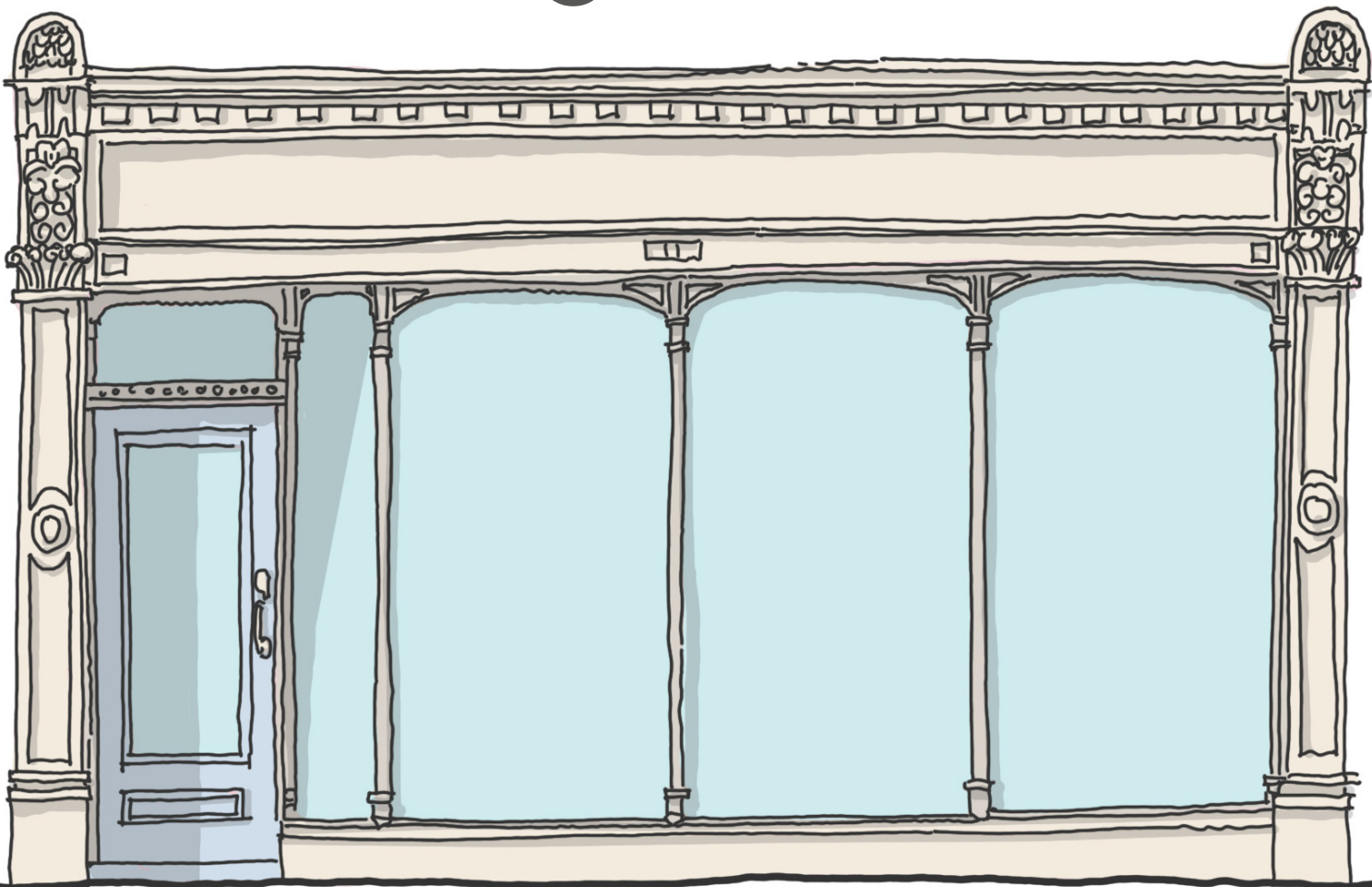
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The boundaries are at the geographical level middle layer super output areas (MSOA) as per the Census 2011. Zone 003 is not recorded in the data provided by the Office for National Statistics.

Appendix G: Shopfront Principles

Shopfront

Supplementary Planning Document



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Shopfront Supplementary Planning Document

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A. Introduction

01

Purpose

1.1. This supplementary planning document (SPD) sets out Gedling Borough Council's policy in relation to the design of shopfronts and their advertisements within the Borough. As an SPD, this document provides further guidance on policies within the Council's adopted Part 1 and Part 2 Local Plan. Once adopted, this document will be a material consideration in the determination of planning applications.

02

Policy Context

2.1. Seeking to secure high quality design is described as a core planning principle by the [National Planning Policy Framework](#) (NPPF). The NPPF encourages high quality design, including sensitive and innovative responses to local historic development and urban character. Paragraph 135 states that, among other criteria, planning policies and decisions should “establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit” as well as being “sympathetic to local character and history... while not preventing or discouraging appropriate innovation or change (such as increased densities)”.

2.2. [National Planning Practice Guidance](#) revised in February 2024 also emphasises the importance of good design and states that development should promote local character.

2.3. As an SPD, this document provides detail on the interpretation and implementation of existing local plan policies and sets out design standards. It does not introduce new policies. The key policy documents include:

- [Aligned Core Strategy](#) (Part 1 Local Plan): Adopted in September 2014, the document sets out the strategic policy direction for future development in Gedling Borough. Key policies for this SPD include:
 - » ACS Policy 6: Role of Town and Local Centres

- » ACS Policy 10: Design and Enhancing Local Identity
- » ACS Policy 11: The Historic Environment

- [Local Planning Document](#) (Part 2 Local Plan): Adopted in July 2018, the LPD has been prepared to include detailed policies that help deliver specific allocations, site specific policies, allocations of non-strategic sites and designations for new housing, employment, retail, community facilities, recreation and open space, nature conservation and other land uses. Key policies for this SPD include:
 - » Policy LPD 26: Heritage Assets
 - » Policy LPD 27: Listed Buildings
 - » Policy LPD 28: Conservation Areas
 - » Policy LPD 31: Locally Important Heritage Assets
 - » Policy LPD 35: Safe, Accessible and Inclusive Development
 - » Policy LPD 49: Retail Hierarchy and Town Centre Boundaries. Indicates Arnold as a “Town Centre” and defines “Local Centres” at Burton Joyce, Calverton, Carlton Hill, Carlton Square, Gedling Colliery site, Gedling Village, Mapperley Plains, Netherfield and Ravenshead.
 - » Policy LPD 50: Development within Town and Local Centres
 - » Policy LPD 51: Upper Floors
 - » Policy LPD 54: Development within Small Parades
 - » Policy LPD 55: Security Shutters
 - » [Gedling Borough Local Planning Document Interactive Policies Map](#) (LPD Part C: Policies Map).

B. Shopfronts

03

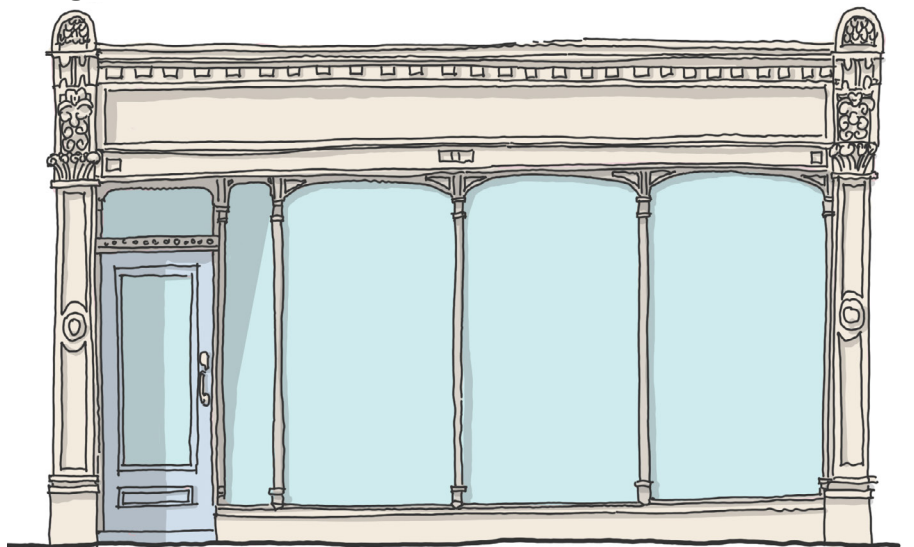
History of shopfront design

3.1. Retail streets have evolved over centuries, reflecting diverse architectural styles and adapting to changing needs.

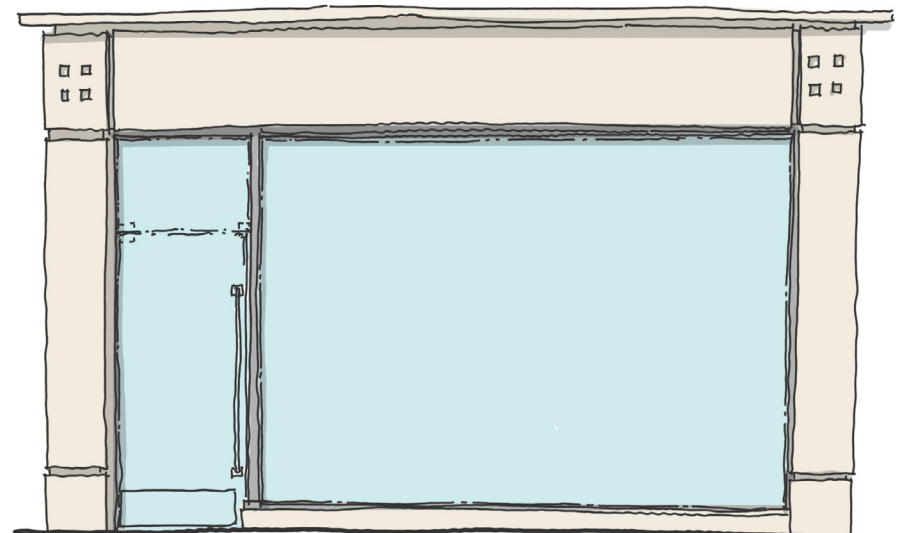
3.2. By the 20th century, modernisation prioritised functionality over aesthetics, often covering traditional features. New materials like aluminium, frameless glass and plastics became common, and corporate branding often disregarded local architectural character. This transformation highlights the balance between practicality, commercial needs and preserving street character.



Georgian



Victorian



Contemporary

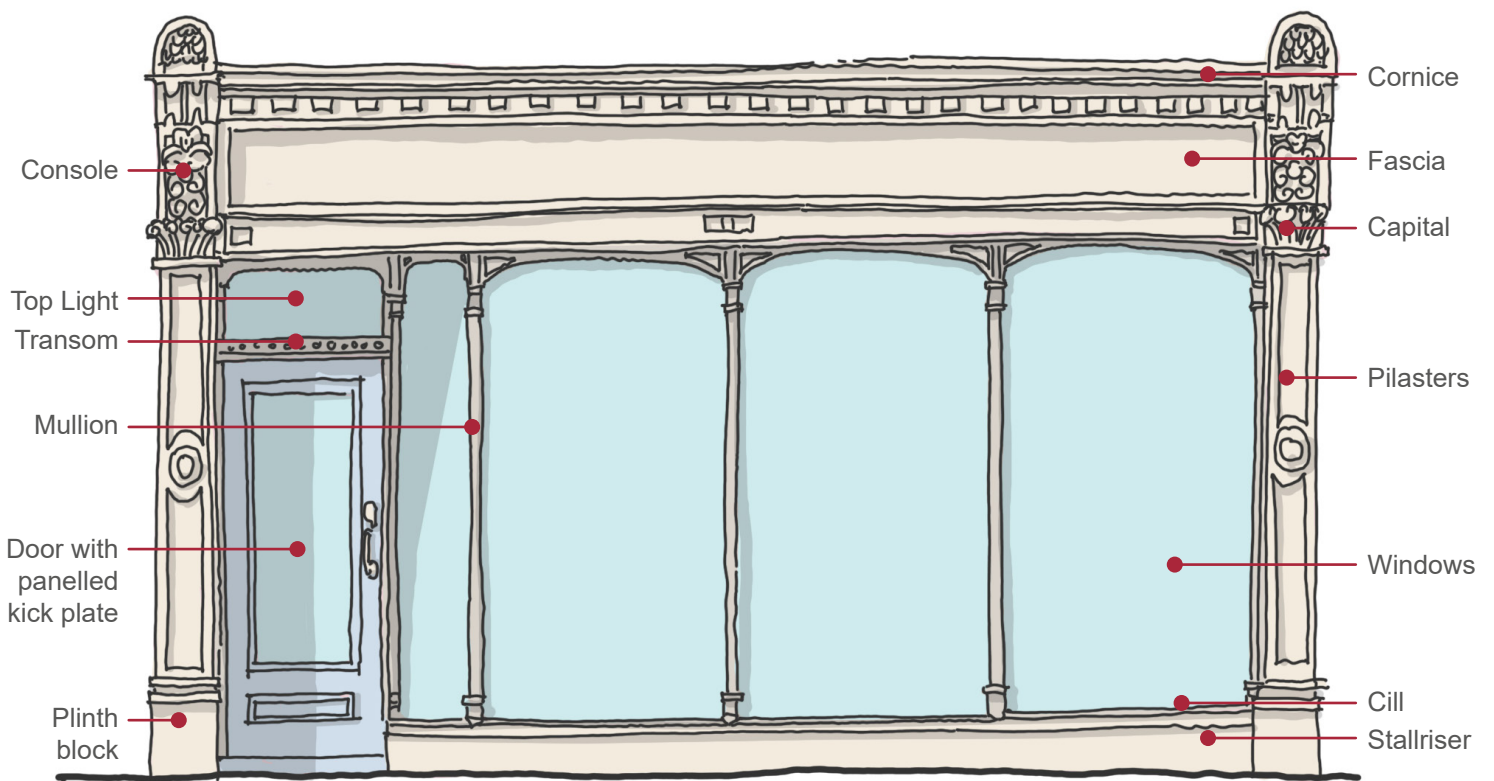
04

Elements of shopfronts

4.1. Despite the diverse range of architectural styles, most shopfronts incorporate the same basic design elements and are relevant to proposals including new or renovated shopfronts. The architectural terms below denote areas of a shopfront that frame the shop window and signage and create architectural interest and variety. Incorporation of these features, albeit not always highly decorative like the example above, often aids shopfront security as well as making a contextual and characterful design. These features include:

- **Pilasters**
Pilasters can be structural to support the building and fascia above, or purely decorative. Pilasters generally terminate at a plinth at the base, with a capital at the top which can be plain or decorative.
- **Stallrisers**
The stallriser is the element forming a solid base to the shopfront, helping to define the shopfront proportions. Traditional stallrisers may have decorative moulded cills, ironwork or panelling.
- **Windows and doors**
Windows are typically divided with mullions and transoms. The way the windows are subdivided usually reflects the style of the building facade. Traditionally, shopfronts had numerous divisions from mullions and transoms due to the limited size of glass available, creating often vertical proportions to the glazing with elegant character. More modern designs generally have larger expanses of horizontally proportioned glass providing wider expanses for displays. Transom lights at the top of the main shop window may feature different types of glass and further break up the window visually.

Door designs typically follow the age and style of the windows (where they have not been updated unsympathetically). Doors can be flush with the window façade or recessed to form a visual break in the shopfront. Doors can be manual or automatic sliding.
- **Mouldings**
In traditional shopfronts, mouldings can reflect the period of the building facade. Stallrisers, pilasters, consoles, windows and doors can all incorporate decorative mouldings displaying the character of the building. More modern shopfronts generally have less decorative elements, favouring functional designs.
- **Materials and finish**
Traditionally, shopfronts were constructed using softwood timber which requires regular maintenance and painting, with ironmongery and brassware, such as iron panels and doorknobs, handles and letter flaps all commonly enhancing their appearance. Newer shopfronts generally include aluminium, ceramic tiles and sheet plastic, with more glazed elements.
- **Facias and cornices**
Traditional shopfront fascias usually include a decorative moulded cornice running along the top, giving protection from the elements and a strong upper edge, providing a break to the rest of the building façade. Shopfronts from the Victorian era were commonly canted forward within console brackets.



Elements of shopfronts

C. Design Principles for Shopfronts



Poorly designed shopfronts do not respect the style, proportions and detailing of the rest of the building.



Elements of the building are reflected in the shopfronts.

05

Retention and repair

5.1. The Council will strongly encourage the retention of original shopfronts of high historic or architectural value. Where the quality of shopfronts is poor, replacement will be favoured. However, where there are original elements that contribute to the character of the street, repair and retention of those specific elements will be encouraged within the design of the new shopfront.

5.2. When alterations are made to traditional shopfronts of a high quality, original details should not be covered up or altered. Likewise, where traditional shopfronts have had their appearance altered by more recent additions, it will usually be desirable to expose and repair these features.

Retention and repair principles:

1. Shopfronts that contribute significantly to the character of the area should be retained, repaired and restored.
2. Traditional shopfront detailing should be retained. Proposals that remove or conceal historic or architecturally important features will be resisted.
3. Where traditional shopfront detailing has been concealed by later additions, it should be exposed, repaired and retained to enhance the character and appearance of the shopfront.

06

Replacement shopfronts to traditional buildings

6.1. Where shopfronts have no architectural merit or historic interest, are unattractive, are inappropriate to the building or are beyond feasible repair then replacement will be encouraged. When considering replacement, the Council will consider the most appropriate design for the style of building façade and character of the area. Replacement should provide an opportunity for high quality design to enhance the building and wider area.

Replacement shopfronts to traditional buildings principles:

1. Replacement shopfronts will be encouraged when existing shopfronts have no architectural merit, are unattractive, are inappropriate to the building or are beyond feasible repair.
2. Replacement shopfronts should be high quality and appropriate for the building façade and character of the area and street scene.

07

Building character, architecture and setting

7.1. Shopfronts should not be designed in isolation from the architectural composition and style of the building. The design of shopfronts should respect the period and style of the building to which it is fitted, and the retailer should adapt to suit the property. The composition of the building comprises of its age, appearance, materials, colours, fenestration, proportion and rhythm. Modern interpretations that respect these design elements in an innovative way are encouraged.

7.2. Where a shopfront is fitted in a traditional style, it should be historically correct in its style and detailing and locality. Research from old records, photographs and pattern books should be sought to support the design proposal.

7.3. The SPD takes priority over existing examples on the ground where they do not accord with the principles set out in this document.

Building character, architecture and setting principles:

1. Any new or replacement shopfronts should consider the architecture of the existing building, including its proportions, style, colour, materials and details.
2. Modern interpretations that respect the original building façade in an innovative way are encouraged.
3. Shopfronts should also consider the character of the street scene generally, in particular the neighbouring properties. However, the SPD takes priority over existing examples on the ground where they do not accord with the principles set out in this document.
4. On traditional shopfronts the original character of the building façade should be expressed. Traditional character can be incorporated using the features of a traditional shopfront within figure above (see Section 4. Elements of Shopfronts).
5. Where a business operates across more than one building of differing styles, the shopfront should be subdivided to reflect the individual characteristics and architecture of each building.

Architectural details

7.4. Shopfronts have an important role in the experience of shopping streets across the Borough. Design details are important in conveying the character, style and heritage of the building and wider area. The following principles should be considered for any new or replacement shopfronts:

Fascia principles:

1. Fascias should be contained within and respect the proportion of the original shopfront. Consent will not be granted for fascias that obscure original console brackets, pilasters, any existing traditional fascia or architectural details, or encroach above first floor windowsills.
2. Fascias should not run continuously over more than one building frontage.
3. Fascias should not be excessively deep and negatively detract from the building above.
4. Materials such as reflective acrylic and other glossy or fluorescent materials must be avoided.

Stallriser principles:

1. Stallrisers form an important part of the proportions of a shopfront. The height of stallrisers should reflect the original design of the shopfront or general height of risers in the street.
2. Stallrisers should have a projecting cill providing a solid junction with the window glass.
3. Materials used in stallrisers should reflect those used on the building facade in general.

Pilasters and console principles:

1. All new shopfronts should use columns, piers or pilasters to define and frame the shopfront.
2. On traditional buildings, any pilasters, piers or columns should be retained or reinstated, and any original detail restored.
3. Materials used in pilasters should be in keeping with those used in the rest of the building.

Doors principles:

1. Shop doors should form an integral part of the shopfront.
2. Traditional door elements should be retained. Generally, these would include glazed panelling with a kickplate or lower panel of a style appropriate to the shopfront.
3. Recessed doorways that contribute to the character of the street scene should be retained. On new shopfronts recessed doors can assist with disabled access.
4. Any independent access to upper floors must be retained.

Windows principles:

1. Traditionally detailed window frames, mullions and transoms should be retained and restored.
2. Window subdivisions should respect the character and vertical proportions of the building façade.
3. Large horizontal expanses of glazing should be avoided, unless as a core principle of the overall design of the building façade.

08

Materials, surface treatments and colour

8.1. A range of different materials have been used in shopfront construction and decoration over the years. These materials, finishes and colours have a significant impact on the overall design of shopfronts.

8.2. Most traditional shopfronts were built in softwood timber and painted. There are a few examples of stained hardwood shopfronts, generally used in exposed parts of shopfronts. Edwardian examples also made use of glazed tiles for stallrisers and within the threshold of recessed doorways, which can be attractive materials to retain. More recently, materials such as aluminium have been introduced. UPVC has been increasingly used, however will rarely be acceptable in historic centres, conservation areas or listed buildings and should be used sparingly.

Materials, surface treatments and colour principles:

1. Only materials which are appropriate to the period and character of the shopfront and building should be used. Where materials deviate from these, clear reasoning should be used to support the use of said materials.
2. The choice of colours should be guided by either the original building or, if new, the overall colour strategy for the building façade. All colour schemes should enhance the visual quality of the shopfront and complement adjacent properties.
3. Period ironmongery should be retained. On new shop units the materials should reflect the style and design of the overall building façade.

09

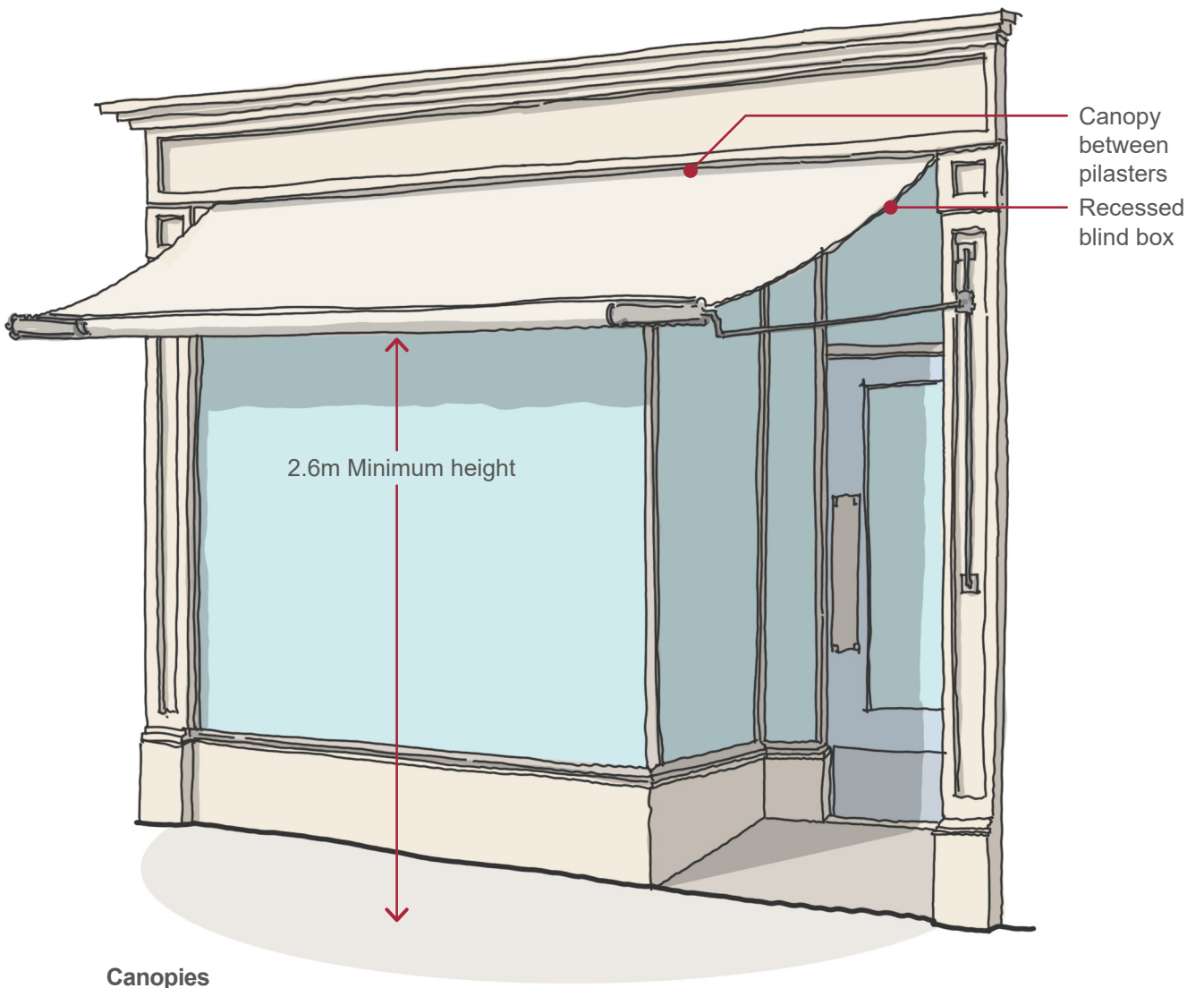
Canopies and blinds

9.1. Traditionally, canopies were used to protect goods on display from damage by sunlight and could be retracted to avoid obscuring the shopfront. Blinds were traditionally a canvas-like material, designed as an integral part to the shopfront and generally recessed back into the shopfront above or below the fascia when not in use.

9.2. In more modern shopfronts, businesses have sometimes installed oversized canopies and blinds, primarily to carry additional advertisements or signage. The function of these blinds is generally unnecessary and can be out of character with street scenes.

Canopies and blinds principles:

1. Canopies should form a complementary part of the overall appearance and character of the shopfront.
2. Any proposal to remove existing traditional blinds and blind boxes will be resisted.
3. Blinds should be positioned between shopfront pilasters and be in proportion to the building and street scene. Continuous lengths of canopies across multiple shopfronts will be resisted, unless as a part of a wider strategy for the streetscape.
4. Blind boxes should be recessed, should not obscure or damage the shopfront or architectural features and should be designed as an integral part of the whole shopfront.
5. There should be a minimum of 0.5m from the outer edge of the blind to the kerb line, and the height from pavement level must be no less than 2.6m to the underside of the blind.
6. Plastic blinds or canopies in fluorescent and glossy materials will be resisted.



10

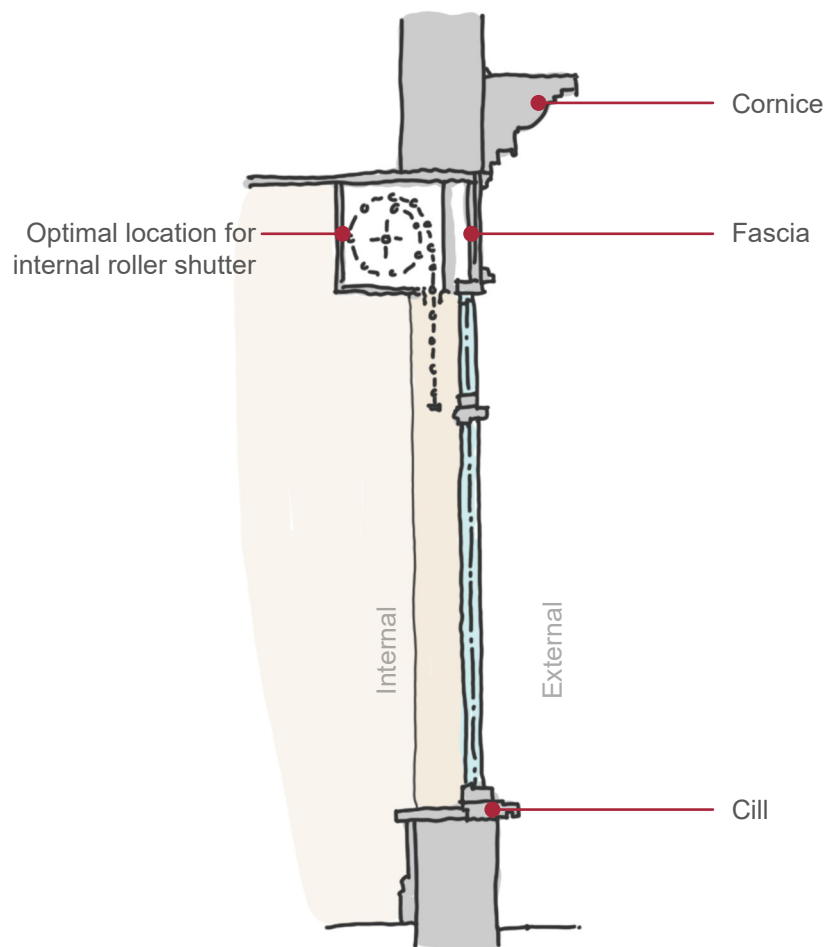
Security

10.1. Security measures form an integral part of shopfront design and can be provided in many forms, including internal roller shutters, security grilles, railings as well as alarms and security cameras.

10.2. Local Planning Document Policy LPD 55 – Security Shutters sets out specific guidance for externally mounted roller shutters.

Security principles:

1. Security measures should form an integral part of the design process and not as an add on.
2. Alarm boxes should not be placed on fascias.
3. Sensitively designed internal grilles may be permitted.
4. Shutters must be appropriate to the building they are installed on, wherever possible be internal and, when closed, they should allow visibility into the shop.
5. External roller shutters are not acceptable within a Conservation Area, on a Listed Building or a non-designated heritage asset.
6. If external shutters are required for specific security reasons, the box above the roller shutter should be sited internally. Where this is not possible it should be tied in with the design of the fascia.



Roller shutter incorporated into shopfront design

11

Advertisements and Signage

11.1. For planning purposes, [Advertisements](#) is defined in section 336(1) of the [Town and Country Planning Act 1990](#).

11.2. The overall effect of signage has an impact on the appearance and character of the streetscape. Visual clutter, detrimental to the quality of the streetscape, can be caused by the number, scale and colour of signage, as well as how it is illuminated.

11.3. Signage should be included as an integral part of shopfront design from the outset. Signage and branding should be appropriate to the period and styling of the shopfront.

11.4. All advertisements are subject to the standard conditions in [Schedule 2](#) of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

11.5. The following principles give guidance on various aspects of advertisements and signage:

Freestanding principles:

1. Advertising boards should not impair access for people with restricted mobility and ensure that no hazard exists for blind and partially sighted people.
2. Consent is required from the owner of the land on which the advertising board is to be displayed. Nottinghamshire County Council has provided conditions and guidance on the placement of advertising boards on their land which can be found on the County Council's [Advertising Boards and Displays of Goods on the Highway](#) document.

Fascia sign principles:

1. Generally, lettering on fascia signage should not exceed more than two-thirds of the depth of the fascia.
2. Hand painted traditional sign-writing will be preferred on historic and listed buildings.
3. The sign should only state the name and trade of the business.
4. Modern box fascias and pre-cast signage boards fixed to an existing fascia are inappropriate within conservation areas, on listed buildings and on-designated heritage assets.
5. Reflective plastic, Perspex or overly bright materials are generally inappropriate. A strong contrast between the fascia colour and lettering is encouraged to increase visibility.

Number and size principles:

1. To avoid unnecessary clutter, one fascia sign and one projecting or hanging sign are considered adequate to identify a shop unit in most cases.
2. Signage should be restricted to the shopfront.
3. Historic signs and traces of historic signage should be retained where practical.
4. New signage should not obscure or damage existing important architectural features.
5. Advertisements applied above fascia level are generally unacceptable.
6. Signage should be in proportion with the shopfront and building in general.

Hanging and box sign principles:

1. One hanging sign should be used to identify each shop unit.
2. The design of the hanging sign should complement the design of the shopfront, building and streetscape.
3. Hanging signs can be used effectively with an overall street strategy, visually tying together the character of the street.
4. Signs should relate only to the name and trade of the shop.
5. The sign should not be attached to the fascia or obscure architectural details.
6. Blade signs should generally be avoided in favour of a hanging sign.



Clutter caused by too many signs.



Contextually appropriate signage on traditional buildings.

12

Illumination

12.1. Illumination of shopfronts has an impact on the atmosphere of the streetscape. Lighting the streetscape is essential for a safe and attractive night-time environment. In most cases, existing street-lamps and light from shopfront windows is sufficient to illuminate shopfronts.

Illumination principles:

1. The use of external lighting to illuminate shopfronts or signage needs a careful and co-ordinated approach with consideration of any cumulative impact on the street scene. External illumination is not considered essential for many businesses and the Council may request justification for its use especially if the building is listed or within a conservation area.
2. If illuminated signage is proposed to be used it must be designed in at an early stage. It must be discreet and its intensity must not be excessive or impact on the upper levels of the building or its neighbouring properties.
3. Internally illuminated signs and illuminated box signs will need to be sensitively designed.
4. Halo lighting will not generally be acceptable on historic and listed buildings. It can be acceptable on less sensitive buildings as long as it has no detrimental effect on the character of the building and appearance of the shopfront.
5. Where illumination is appropriate, excessively bulky trough lighting, flood lighting and swan neck lights should generally be avoided in favour of more discrete and less bulky forms of illumination.

13

Inclusive access to buildings

13.1 New shopfronts should provide convenient access for all people. All development proposals must be in line with the guidance in [Approved Document M](#) and BS 8300-1:2018 and BS 8300-2:2018 'Design of an Accessible and Inclusive Built Environment', or any guidance produced subsequently that supersedes these documents.

Access principles:

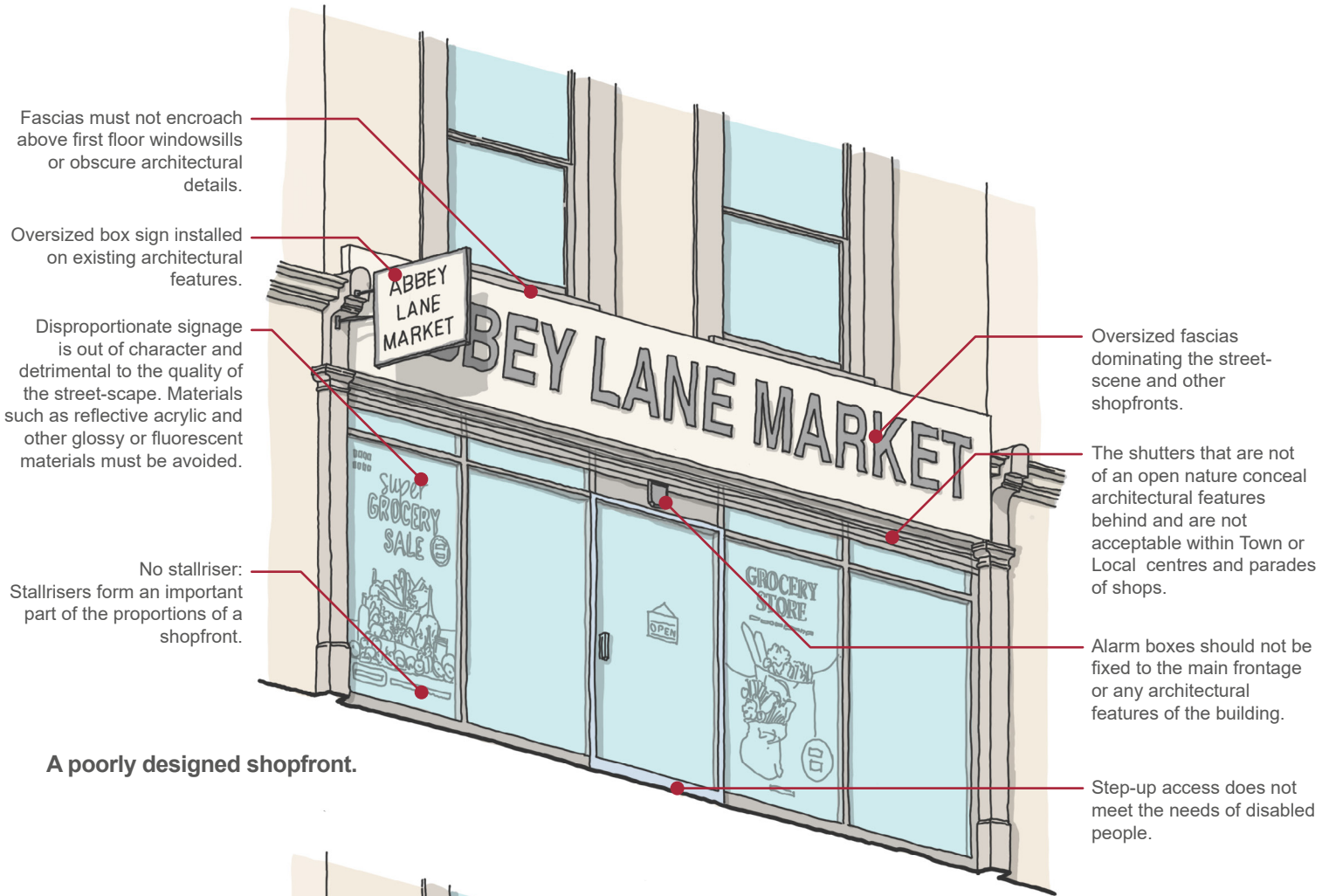
1. A stepped entry into the shop should be avoided, doors should be unobstructed and of sufficient clear width to permit wheelchair manoeuvring.
2. Flush thresholds, vision panels, glazing manifestation, accessible door furniture and power-assisted or automatic doors should be incorporated into designs wherever possible.
3. Access into shop units should be considered at an early design stage. When renovating historic shopfronts, a balance must be achieved between providing easy access and preserving the character and heritage of the building.
4. Impacts to heritage buildings on access grounds will be assessed on a case-by-case basis.

14

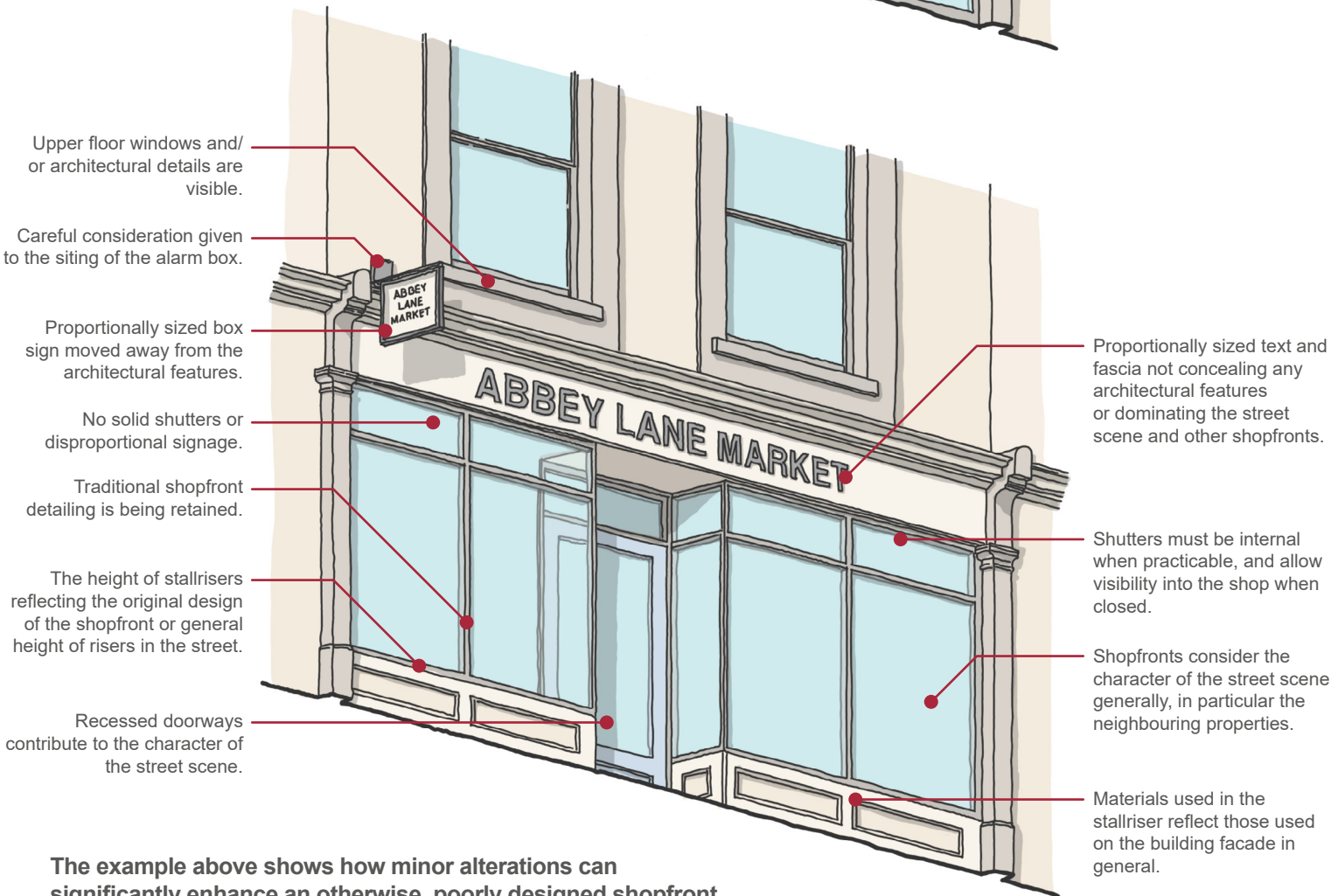
Automatic Teller Machines (ATMs)

ATM principles:

1. ATMs should be positioned to allow for wheelchair access, ie. not too close to the inside of a corner. The access route should be flat without barriers to people with impaired mobility or vision.
2. The area in front of an ATM should be at a minimum 1.5m by 1.5m, with a gradient of no more than 1:50.
3. ATMs should be well signposted without negatively impacting on the street scene. The surrounding of the ATM should suit the style and character of the shopfront and not be excessive.
4. Proposals to install ATMs on listed buildings, non-designated heritage assets and in Conservation Areas must demonstrate a clear need for an ATM and be designed so as to minimise impact on appearance and building fabric.



A poorly designed shopfront.



The example above shows how minor alterations can significantly enhance an otherwise poorly designed shopfront.

D. Permissions & Consents

15

Planning permission

15.1. Altering or replacing shopfronts is likely to require planning permission and might additionally require Listed Building Consent. This can include the installation of additional features such as blinds, canopies, shutters or grilles and many other changes to the external appearance to the building, including changing glazing. If there is uncertainty as to whether consent is required, advice from the Council should be sought through the pre-application advice service.

15.2. Changing the use of a building to a retail unit may require planning permission. Up to date guidance can be found on the [Planning Portal](#).

15.3. Changing a building to another use class, such as a change of use from non-retail to retail, will require planning permission and the guidance provided by this SPD will apply to the new shopfront.

Advertisement consent

15.4. The display of advertisements is subject to a separate consent process within the planning system. This is principally set out in the [Town and Country Planning \(Control of Advertisements\) \(England\) Regulations 2007](#).

16

Listed building consent

16.1. To alter a listed building in a way that affects its character or appearance as a building of special architectural or historic interest, listed building consent must be sought from the Council.

16.2. Consent may also be required for minor works such as changing a painting scheme, altering the shop interior, advertisements, shopfront security, removing architectural features or installing an alarm box.

16.3. If there is uncertainty as to whether listed building consent is required, advice should be sought from the Council prior to installation.

17

Building regulations consent

17.1. The purpose of building regulations is to ensure the building satisfies its functional requirements and provides sufficient health and safety for shoppers and staff. Building regulations approval will be required for alterations and improvements to an existing building as well as new buildings. For example, electrical or plumbing work or replacing doors and windows. Building regulations consent must be applied for in a similar way to planning permission. More information can be found on the [Planning Portal](#) and on the Council's [Building Regulations Applications](#) page.

18

Pre-application advice

18.1. Pre-application advice can be sought before applying for full planning permission, listed building consent or advertisement consent. Pre-application advice allows the applicant to understand how the development plan policies will apply, gain advice from a planning officer, identify any potential problems and rectify them before an application is submitted. More information can be found on the Council's [Do I need planning permission?](#) page. Pre-application advice can be requested by completing the pre-application advice form on the Council's [Request for Pre-application Advice page](#).

19

Enforcement

19.1 Where expedient, the Council has the authority to take enforcement action against works carried out without the necessary planning permission or consent. Unauthorised works to a listed building and unauthorised display of advertisements are both criminal offences. If served with an enforcement notice, a building owner may be required to restore the building to its condition before the unauthorised work was carried out. If this is not complied with or appealed against successfully the offence will be prosecuted in the courts. Breaches of planning control include, but are not limited to:

- Building work and/or a change of use of land/ building, undertaken without planning permission being granted;
- Developments not being carried out in accordance with a planning permission;
- Non-compliance with conditions imposed upon a planning permission;
- Works being carried out to a Listed Building which affect its character without listed building consent being granted;
- Non-compliance with conditions attached to a listed building consent;
- The display of an advertisement for which express consent is required but has not been granted;
- Untidy land or buildings which affect local amenity;
- Unauthorised works to protected trees.

20

Information required for applications

20.1. To ensure applications are dealt with efficiently they need to contain all the necessary information listed below, in addition to the requirements set out by the Council's [Local Requirements List](#):

- Existing and, if relevant, historical photographs and information to support the proposal when adapting or replacing an existing shopfront.
- Existing and proposed elevations of the shopfront and signage, 1:50 scale.
- Existing and proposed full height sections of the shopfront, 1:50 scale.
- Existing and proposed elevation drawings depicting the relationship between the shopfront and the rest of the building façade and at least part of any adjacent buildings and shopfronts.
- Details of any architectural elements such as glazing bars, sills, pilasters at a scale of at least 1:10.
- Detailed design and dimensions of signage, including fixing details and information on luminance levels of lights and whether static or intermittent.
- Details of all materials and colours is required to be annotated on the plans, elevations and sections.

21

Other useful information

21.1. For information about application advice, whether planning is required, for submitting a planning application or information on building regulations please visit the Council's [Planning Applications page](#).
[Aligned Core Strategy](#) (Part 1 Local Plan).
[Local Planning Document](#) (Part 2 Local Plan).
[Supplementary Planning Documents and guidance](#).
[Emerging Local Plan](#).

